

# ARTICLE 5: Traditional Character Zoning Districts

## 5-05 Permitted Uses within Traditional Character Zoning Districts

The following table lists the uses permitted by-right, uses requiring a special use permit, and prohibited uses in each of the Town's traditional character zoning districts.

### 5-05.10 Table of Permitted Uses

B = By-Right Use

S = Special Use

P = Prohibited

Permitted Uses	ALL	RR	TR-L	TR-H	TTC	TAC	RC	TI
Accessory dwelling units		B	B	B	T-4: B			
Accessory use or structure (non-dwelling)	B							
Adult-oriented businesses	P							
Agriculture		B	B	B				
Amusement arcade or game rooms					B	B	B	B
Animal hospitals or clinics						S	B	B
Animal kennels						S	B	B
Antique stores					B	B	B	B
Art studios and galleries					B	B	B	B
Asphalt plants								S
Auctions						B	B	B
Automotive body repair shops						B	B	B
Automobile dealerships						B	B	B
Banks and financial institutions					B	B	B	B
Barbershops					B	B	B	B
Beauty parlors and nail salons					B	B	B	B
Bed and breakfast		B	B	B	B	B	B	B
Boarding houses				S				
Breweries					B	B	B	B
Bulk fuel storage and distribution systems								S*
Car washes						B	B	B
Child care centers		S	S	S	B	B	B	B
Churches	B							
Clubs					B	B	B	B
Cluster developments		S**	S**	S**				
Communication and broadcasting studios					B	B	B	B
Communication antennae or devices on existing structures	B							

Permitted Uses	ALL	RR	TR-L	TR-H	TTC	TAC	RC	TI
Communication towers (new) less than two-hundred (200) feet in height						S	S	S
Concrete plants								B
Conference centers					S	B	B	B
Convenience stores					B	B	B	B
Country inns		S	S		B	B	B	B
Crematoriums					S	S	S	S
Crop growing and storage						B	B	B
Data centers					B	B	B	B
Drive-in facilities					S	S	S	S
Drive-through facilities					S	B	B	B
Duplex dwellings			B	B	T-4: B			
Electrical substation								S
Family day care (≤ 5 children)		B	B	B	T-4: B			
Family day care (> 5 children)		S	S	S	T-4: S			
Farm and garden supply stores					B	B	B	B
Farmers market					B	B	B	B
Fire and rescue squad stations		S	S	S	B	B	B	B
Foundries					S	S	S	B
Funeral homes					B	B	B	B
Furniture and cabinet-making shops					B	B	B	B
Golf courses	S							
Government buildings					T-5: S T-4.5: B	B	B	B
Ground floor residential		B	B	B	T-4: B T-4.5: S T-5: S	S	S	S
Group homes		B	B	B	T-4: B			
Health and fitness centers					B	B	B	B
Heavy manufacturing								S
Heliports						B	B	B
Home occupations (≤ 2 nonresident employees)		B	B	S				
Home occupations (> 2 nonresident employees)		S	S	S				
Hospitals						S	S	S
Hotels					B	B	B	B
Indoor and outdoor theaters					B	B	B	B
Indoor recreation facilities					B	B	B	B
Junk or salvage yard	P							
Laundry, laundromats, dry cleaners					B	B	B	B
Libraries					B	B	B	B
Light manufacturing						S	B	B
Live-work units				S	B	B	B	S

Permitted Uses	ALL	RR	TR-L	TR-H	TTC	TAC	RC	TI
Machine or equipment sales, service and/or rental					S	B	B	B
Manufactured homes (new)	P							
Manufactured homes (replacement of existing only)	B							
Medical clinics and offices					S	B	B	B
Mini-warehouses and self-service storage units						S	B	B
Mixed commercial use dwellings (i.e. mixed-use)					B	B	B	B
Monument manufacturing and sales					S	B	B	B
Motels						B	B	B
Multi-family dwellings				B	T-4: S			S
Museums					B	B	B	B
Nursing homes and assisted living facilities						B	B	S
Outdoor recreation facilities					S	S	B	B
Overhead utilities, wires and transformers	S							
Parking garage					S	B	B	B
Parks and playgrounds	B							
Pet stores					B	B	B	B
Pharmacies					B	B	B	B
Professional offices					B	B	B	B
Public animal kennels						S	B	B
Public transportation facilities					B	B	B	B
Recycling centers						S	S	B
Recycling collection points		B	B	B	S	B	B	B
Repair garage					B	B	B	B
Repair garage, commercial vehicle							B	B
Restaurants					B	B	B	B
Retail and wholesale bakeries					B	B	B	B
Retail and wholesale establishments					B	B	B	B
Retail and wholesale printing and photo processing					B	B	B	B
Retail furniture and appliance stores					B	B	B	B
Retail nurseries and greenhouses					B	B	B	B
Retail upholstery shops					B	B	B	B
Schools	S							
Service stations						B	B	B
Shopping centers						B	B	B

Permitted Uses	ALL	RR	TR-L	TR-H	TTC	TAC	RC	TI
Single-family dwellings		B	B	B	T-4: B			
Spas					B	B	B	B
Streets and alleys	B							
Supermarkets and grocery stores					B	B	B	B
Tattoo shops					B	B	B	B
Technology services					B	B	B	B
Textile mills								B
Thrift or secondhand store					B	B	B	B
Townhouses				B				
Tree farms, arboretums						B	B	B
Truck terminals								S
Utilities	B							
Warehouses						S	B	B
Water storage tanks								B
Wineries, orchards, and vineyards						B	B	
Yard or garage sales	B							
* SUP shall be required for liquid fuels only. Other fuels permitted by-right.								
** SUP shall be required only for cluster developments which exceed the allowable density permitted in the applicable zoning district. Otherwise, such developments shall be permitted by-right.								

## 5-10 Rural Residential (RR) District

### 5-10.10 Intent

The Rural Residential District is established to preserve and sustain low-density, residential areas on the edges of Town with widely-spaced homes, buffered from each other and from roadways by mature vegetation and street trees.



### 5-10.20 Permitted Uses

The uses permitted by-right, permitted with a special use permit, and prohibited within the Rural Residential District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

### 5-10.30 Lot Requirements

- a) Lot Area: Minimum 30,000 square feet.
- b) Lot Width: Minimum 100 feet.
- c) Block Perimeter: No maximum requirement.
- d) Lot Access: All lots which contain a dwelling or other permitted main building shall abut on a public street.
- e) Corner Lots: Of the two (2) sides of a corner lot, the front lot line shall be deemed to be the shorter of the two sides adjoining the street.
- f) Cul-de-sacs: Any dead-end street must terminate in a hammerhead or other alternative turnaround design, provided, however, that a cul-de-sac may be permitted with issuance of a Special Use Permit in accordance with Section 3-30.

### 5-10.40 Building Requirements

- a) Front Setback: Minimum 60 feet, or the average setback of structures within the same block on the same side of the street at the time a Zoning Permit or Site Plan is approved.
- b) Side Setback: Minimum 15 feet.
- c) Rear Setback: Minimum 25 feet
- d) Height: Maximum 35 feet to the top-most eave at front façade; the top-most gable peak shall not

exceed 45 feet.

- e) Accessory Structures: The footprint of an accessory structure shall not exceed 50 percent (50%) of the footprint of the principal dwelling up to a maximum area of 1,500 square feet. The height of the accessory structure shall not exceed the height of the principal dwelling.

## 5-10.50 Civic Space Standards

- a) Street Trees: Street trees shall be required along both sides of all streets within the Rural Residential District. Street trees shall be clustered (i.e. grouped together) and spaced at irregular intervals not exceeding 150 feet in order to maintain rural character.
- b) Sidewalks and Pedestrian Facilities: A multi-use path not less than 8 feet in width shall be required along all streets on one side of street only.
- c) Open Space: At least 10 percent (10%) of the total land area included as part of a development project involving the construction of four (4) or more dwelling units shall be preserved as common open space. This provision shall not apply to individual single-family or duplex dwellings constructed upon a lot or lots recorded prior to the date of adoption of this article.
- d) Exempted: The requirements of this subsection shall apply to a subdivision and/or development subject to the requirement for a site development plan in accordance with Section 12-20, provided that the construction of a single-family dwelling or duplex dwelling, or structure or parking area accessory thereto, on a lot recorded prior to the adoption of this Chapter shall be considered exempt from the requirements of this subsection. The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's property lies.

## 5-10.60 Utility Requirements

- a) All lots that contain a dwelling or other permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a dwelling or other permitted building, and all such buildings thereon, shall be served exclusively by a public sewer system, provided the lot is situated such that public sewer service is available to the lot or parcel, or any existing or proposed building thereon, in accordance with the requirements for mandatory connection to public sanitary sewer prescribed in the Code of the Town of Orange. Lots which are not served by the public sewer system shall be subject to approval by the Orange County Health Official.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.

## 5-20 Traditional Residential-Low Density (TRL) District

### 5-20.10 Intent

The Traditional Residential-Low Density District (TRL) is established to preserve and sustain low- to moderate-density residential areas with compact, well-designed and landscaped neighborhoods of homes which are similar in character to the traditional single family neighborhoods throughout Town. Neighborhoods will have a pedestrian orientation with shallow front setbacks, front porches and garages located in the rear of lots.



### 5-20.20 Permitted Uses

The uses permitted by-right, permitted with a special use permit, and prohibited within the Traditional Residential-Low Density District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

### 5-20.30 Lot Requirements

- a) Lot Area: Minimum 6,500 square feet.
- b) Lot Width: Minimum 60 feet.
- c) Lot Coverage: Maximum 30%
- d) Block Perimeter: Maximum 2,500 feet.
- e) Lot Access: All lots which contain a dwelling or other permitted main building shall abut on a public street.
- f) Corner Lots: Of the two (2) sides of a corner lot, the front lot line shall be deemed to be the shorter of the two sides adjoining the street.
- g) Cul-de-sacs: Any dead-end street must terminate in a hammerhead or other alternative turnaround design, provided, however, that a cul-de-sac may be permitted with issuance of a Special Use Permit in accordance with Section 3-30.

### 5-20.40 Building Requirements

- a) Front Setback: Minimum 12 feet; Maximum 30 feet.
- b) Side Setback: Minimum 5 feet; Maximum total combined side yard setbacks shall be 35 feet.

- c) Rear Setback: Minimum 15 feet without alley; Minimum 20 feet with alley.
- d) Height: Maximum 25 feet to the top-most eave at front façade; the top-most gable peak shall not exceed 35 feet.
- e) Roof Pitch: Maximum 12:12.
- f) Accessory Structures: The footprint of an accessory structure shall not exceed 50 percent (50%) of the footprint of the principal dwelling up to a maximum area of 1,000 square feet. The height of the accessory structure shall not exceed the height of the principal dwelling. All accessory structures must be set back from the front lot line far enough so that at least 50 percent (50%) of the mass or depth of the principal structure is closer to the front lot line than is any portion of the accessory structure.
- g) Front Porch or Stoop: A front porch or stoop is required. A porch shall be at least 6 feet deep and 12 feet wide. A stoop shall be at least 4 feet deep and 6 feet wide.

## 5-20.50 Parking Requirements

- a) Front Setback:
  - 1) Detached garages shall be set back from the front lot line so that at least 50 percent (50%) of the depth of the principal structure is closer to the front lot line than any portion of the garage.
  - 2) Attached garages shall be flush or recessed from the front of the building. No portion of an attached garage shall be located closer to the front lot line than the rest of the façade.
  - 3) Paved surfaces located in the front yard shall not exceed 30 percent (30%) of the total front yard area.
  - 4) No space intended for vehicle parking, other than the driveway, shall be permitted in the front yard.
- b) Side Setback: Minimum 3 feet for parking areas and detached garages.
- c) Rear Setback: Minimum 3 feet for parking areas and 10 feet for detached garages.

## 5-20.60 Civic Space Standards

- a) Streetlights: Streetlights shall be installed along both sides of all streets. Streetlights may be staggered on opposite sides of the street provided that they shall be installed at regular intervals of not less than 150 and not greater than 200 feet on center measured parallel to the centerline of the street. Lights shall be located at least 12 feet and not more than 14 feet in height above grade.
- b) Street Trees: Street trees shall be required along both sides of all streets within the Traditional Residential-Low Density District. Street trees shall be spaced at regular intervals of not less than 30 and not greater than 50 feet as measured parallel to the centerline of the street.
- c) Sidewalks and Pedestrian Facilities: Sidewalks not less than 5 feet in width and shall be required along both sides of all streets.
- d) Alleys: The right-of-way of any alley shall be not less than 10 feet and not more than 20 feet in width.
- e) Open Space: At least 10 percent (10%) of the total land area included as part of a development project involving the construction of four (4) or more dwelling units shall be preserved as common open space. This provision shall not apply to individual single-family or duplex dwellings constructed upon a lot or lots recorded prior to the date of adoption of this article.
- f) Exempted: The requirements of this subsection shall apply to a subdivision and/or development subject to the requirement for a site development plan in accordance with Section 12-20, provided that the construction of a single-family dwelling or duplex dwelling, or structure or parking area accessory thereto, on a lot recorded prior to the adoption of this Chapter shall be considered exempt from the requirements of this subsection. The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's



property lies.

## **5-20.70 Utility Requirements**

- a) All lots that contain a dwelling or other permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a dwelling or other permitted building, and all such buildings thereon, shall be served exclusively by a public sewer system, provided the lot is situated such that public sewer service is available to the lot or parcel, or any existing or proposed building thereon, in accordance with the requirements for mandatory connection to public sanitary sewer prescribed in the Code of the Town of Orange. Lots which are not served by the public sewer system shall be subject to approval by the Orange County Health Official.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.

## 5-30 Traditional Residential-High Density (TRH) District

### 5-30.10 Intent

The Traditional Residential-High District (TRH) is established to promote a range of medium to high density residential housing types that are compatible with the traditional neighborhoods in Town. The regulations in this District are intended to create medium to high density residential areas with a variety of housing types allowed, ranging from compact single family, duplexes, townhouses, to multi-family condominiums and apartments. The district standards are oriented to the pedestrian with buildings close to the street, a pedestrian-friendly streetscape and parking and garages located away from the street. The design character of the Traditional Residential High is intended to be compatible with the traditional and historic neighborhoods in the Town.

The illustration below is advisory only and is intended to illustrate the intended development character for this district. Refer to the Code standards below for the specific prescriptions of this section.



### 5-30.20 Permitted Uses

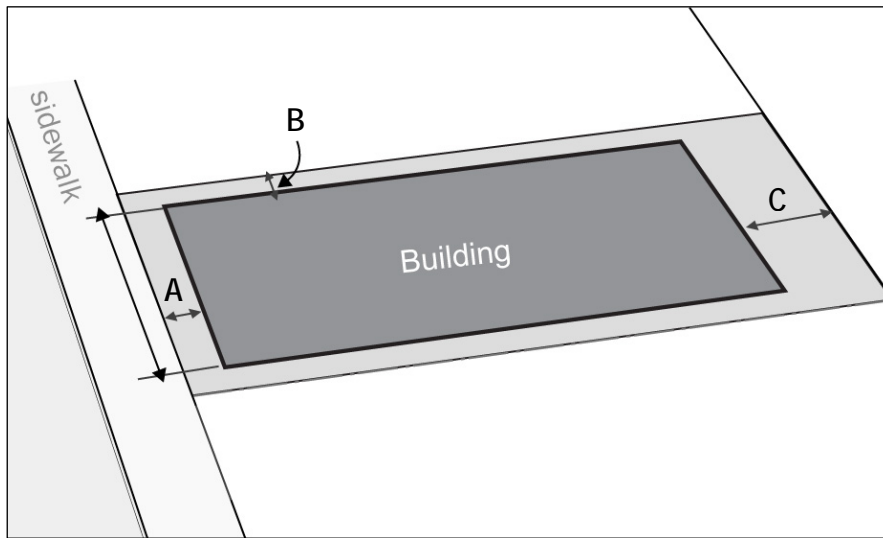
The uses permitted by-right, permitted with a special use permit, and prohibited within the Traditional Residential-High Density District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

### 5-30.30 Development Standards

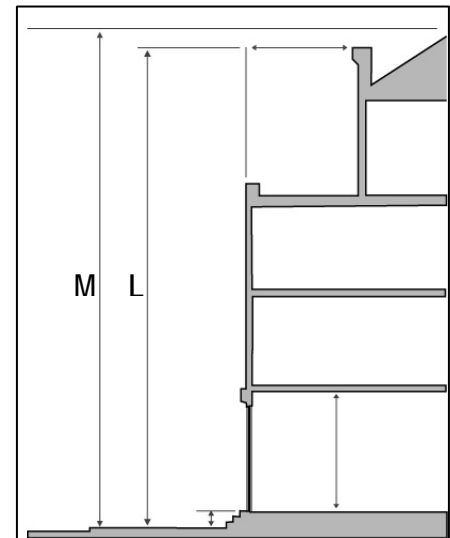
The general development standards for the Traditional Residential High Density District are defined by the following tables and illustrations. Abbreviations appearing below are defined as follows:

SFD = Single-Family Dwelling  
DD = Duplex Dwelling  
TH = Townhouse Dwelling  
MF = Multi-Family Dwelling

# Traditional Residential High Density District – Development Standards



Building Requirements



Building Height

## Building Requirements

### Setbacks

A	Street Front	12' min. - 20' max. <sup>1</sup>
B	Side	5' min. on any side 35' combined max.
C	Rear	Min. 15 ft
D	Minimum Frontage	n/a

## Accessory Structures

E	Setback	5' min;
F	Height	Top of roof cannot exceed height of façade of principal building

Accessory dwelling units should not be greater than fifty (50) percent of the floor area of the principal building up to a maximum of 1,000 s.f.

## Building Height

L	Height of front façade	2 – 4 story <sup>2</sup>
M	Height to Roof	65' max.

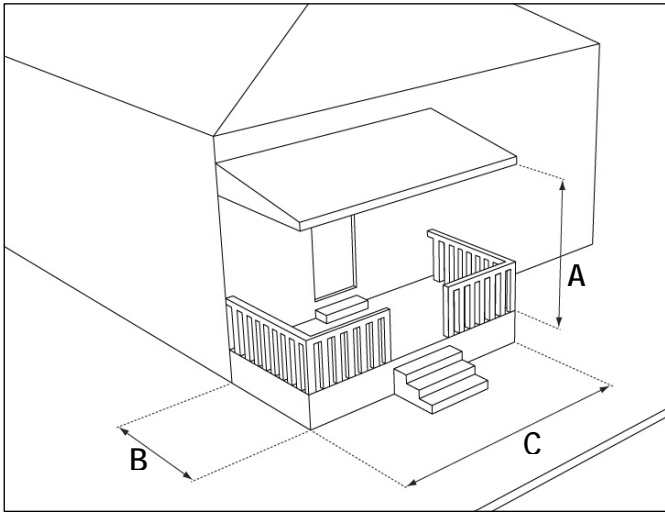
## Lot Requirements

Lot Area	SFD: 6,000 sq. ft. min. DD: 6,000 sq. ft. min. TH: 2,000 sq. ft. min MF: 10,000 sq ft. min
Lot Width	SFD: 50 ft. min. TH: 20 ft. min MF: 80 ft. min
Lot Coverage	50% max.
Max Density	SFD: 8 du/ac. DD: 16 du/ac. TH: 10 du/ac. MF: 30 du/ac.
Block Length	ADU density bonus: 2 du/ac. 250' min.-660' max.
K Lot Access	Each lot must front a public street

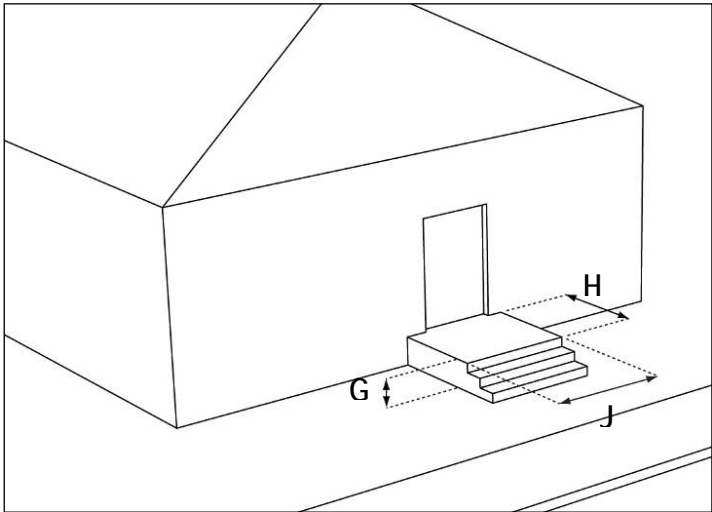
<sup>1</sup> The maximum building setback applies only to buildings which adjoin and face a public street.

<sup>2</sup> Except as modified by proffer for any conditional zoning request in accordance with Article 3 or any other provisions of this Chapter pertaining to the creation of housing designed primarily or exclusively for occupancy by senior citizens.

Traditional Residential High Density District – Development Standards



Porch



Stoop

Frontage Types

Porch

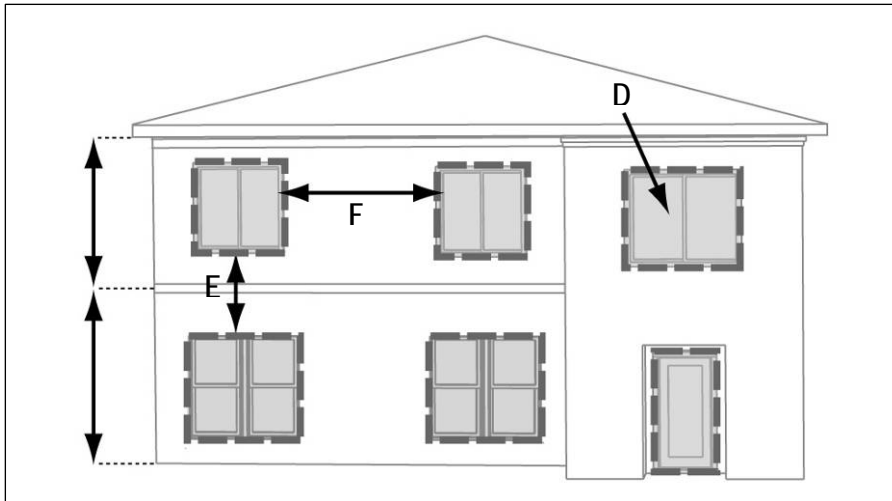
A	Ceiling	10' – 12'
B	Minimum Depth	6'
C	Minimum Width	10'

Additional Frontage Types

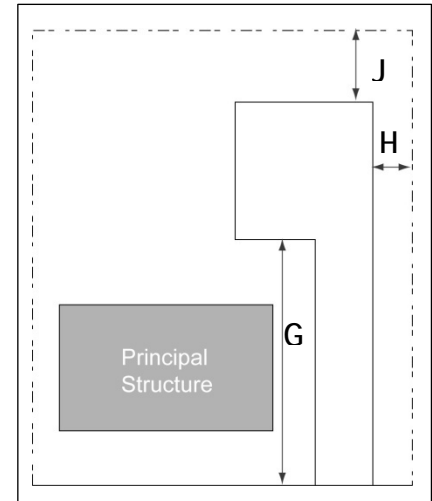
Stoop

G	Height	4' max.
H	Depth	4' - 8'
J	Width Along Frontage	4' - 12'

# Traditional Residential High Density District – Development Standards



Fenestration



Parking

## Fenestration

Fenestration, which includes windows and doors, must open into habitable spaces and cover a certain percentage all facades of the building facing a street or public or private open space, as detailed below.

Overall	15% min – 30% max.
D Individual Openings	≤34% of total fenestration per floor, excluding the 1 <sup>st</sup> floor
Wall openings shall not span vertically more than one story.	
Wall openings shall correspond to interior space and shall not span across elements of the building structure such as the floor's structural and mechanical thickness.	
Window Spacing	
E Vertical	3' min.
F Horizontal	20' max.

## Parking

G Front Setback  
Parking must be behind principal structure, on street or enclosed in a garage<sup>1</sup>

Driveways may serve more than one lot. Parking requirements for multifamily buildings may be provided on adjacent lots through permanent shared parking agreements

H Side Yard Setback	5' min.
J Rear Yard Setback	5' min.

## Miscellaneous Standards

Buffers and/or screening adjacent to non residential uses of 20 feet minimum depth

Alleys permitted. Alley R.O.W. width must be at least 10' but no more than 20'

Any development involving at least one acre of developed lot area must provide one or more pocket parks or common open space that totals at least 3% of the total combined lot area of the development

Any dead end street must terminate in a hammerhead or other alternative turnaround design.<sup>2</sup>

<sup>1</sup> Off-street parking areas shall be located behind the principal structure where practicable. Detached garages shall be set back from the front lot line so that at least 50 percent (50%) of the depth of the principal structure is closer to the front lot line than any portion of the garage. Attached garages shall be flush or recessed from the front of the building. No portion of an attached garage shall be located closer to the front lot line than the rest of the façade.

<sup>2</sup> A cul-de-sac may be permitted provided a Special Use Permit is issued in accordance with Section 3-30.

## Traditional Residential High Density District – Public Space Standards

### 5-30.40 Recreational Facility Standards

Multi-family and townhouse developments of fifteen (15) dwelling units or more shall provide improved recreational space for the use of residents such as playgrounds, tennis courts, swimming pools and clubhouses. Improved recreation areas may be provided within pocket parks established in accordance with Section 5-30.30, and shall meet the following minimum standards:

- a) The size, type, and number of facilities provided shall be commensurate with the anticipated needs of the residents as determined by the Zoning Administrator upon consulting with the Planning Commission. The applicant shall provide specifications for proposed facilities to the Zoning Administrator at the time of site plan submittal.
- b) Slopes shall not exceed ten percent (10%) and the area shall be well drained;
- c) The size and shape of each recreation area shall be adequate for the intended use.
- d) Groundcover shall be appropriate for the use and shall consist of turf grass or contained ground cover such as pine bark mulch, shredded tires, or pea gravel.
- e) Location shall be compatible with adjoining uses, convenient to users, and suitable for parental supervision.
- f) All equipment and facilities shall be designed for regular and extended use. Recreational equipment and facilities shall be maintained in a safe and attractive condition and replaced as necessary. Maintenance shall be the responsibility of the property owner or homeowner's association.
- g) All required recreational facilities shall be completed by the time as a Certificates of Occupancy is issued for the units requiring the facilities.

### 5-30.50-5-30.60 Reserved

# Traditional Residential High Density District – Streetscape Standards

## 5-30.70 Intent

Streetscape Standards are provided to ensure the coherence of streets within the Traditional Residential High Density District and serve to assist building owners and operators with understanding the relationship between the street and their privately-owned lots. As part of these standards, the street and building façade receives more attention than the rest of the building. The desired aesthetic along the street is defined by streetscape elements, such as such as brick pavers, benches, lighting and waste-bins, street trees and public art. These standards establish an environment that encourages and facilitates pedestrian activity.

## 5-30.80 Establishment of Streetscape Standards

The general streetscape standards for the Traditional Residential High Density District are prescribed below and shall be implemented to the maximum extent practicable, provided that the requirements of this subsection shall apply to a subdivision and/or development subject to the requirement for a site development plan in accordance with Section 12-20, and provided further that the construction of a single-family dwelling or duplex dwelling, or structure or parking area accessory thereto, on a lot recorded prior to the adoption of this Chapter shall be considered exempt from the requirements of this subsection. The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's property lies.

### 5-30.81 Street Trees

- a) Street trees shall be required along streets and shall be regularly spaced at intervals of 30-40 feet, measured parallel to the street beginning at the intersection of any two streets.
- b) Street trees shall be limbed up so as to not interfere with pedestrian or automobile travel. A minimum vertical clearance of 7 feet shall be provided above the sidewalk and 14 feet above the travel lanes of the street.
- c) On sidewalks 8 feet or wider, metal tree grates at least 4 feet by 6 feet in size shall be installed around street tree pit areas to prevent pedestrian damage to planting materials when trees are located in the sidewalk.

### 5-30.82 Sidewalks

- a) Sidewalks not less than five (5) feet in width shall be required along both sides of all streets.
- b) Consistency of paving design shall be required within a development project.

### 5-30.83 Street Furniture

- a) Benches with backs and arm rests shall be provided at regular intervals not exceeding 250 feet along the street frontage, on average, measured parallel to the street beginning at the



Victor Stanley Steelsites Model No. R-B 28

intersection of any two streets. The Victor Stanley Steelsites Model No. R-B 28 or equivalent model approved by the Zoning Administrator shall be used within the Traditional Residential-High Density District.

- b) At a minimum, one (1) waste bin shall be provided at each block corner or building corner. The Victor Stanley Steelsites Model No. NSDC-36 or equivalent model approved by the Zoning Administrator shall be used within the Traditional Residential-High Density District.
- c) Bicycle racks having a minimum two-bike capacity shall be installed on both sides of the street at intervals not exceeding 500 feet, on average, measured parallel to the street beginning at the intersection of any two streets. At the time of development, the developer is only responsible for the installation of bicycle racks on the side(s) of the street being developed. The standard bike rack is an inverted “U” in galvanized steel with a baked-on black paint finish.
- d) The placement, model and type of all street furniture and fixtures shall be reviewed and approved by the Zoning Administrator.



**Victor Stanley Steelsites Model No. NSDC-36**

## **5-30.84 Lighting**

- a) In order to minimize light pollution, light should be directed downward to the immediate area being illuminated and away from any living quarters.
- b) Street lights shall be installed along both sides of all streets. Street lights shall be installed at least 12 feet and not more than 14 feet in height above grade and at regular intervals of not less than 150 feet and not greater than 200 feet on center measured parallel to the centerline of the street.
- c) Floodlights or directional lights with maximum 100-watt metal halide bulbs may be used to illuminate alleys, parking garages and maintenance areas, but shall be shielded or aimed in such a way that they do not direct light onto other lots, the street, or out of the Traditional Residential-High Density District.
- d) Lights shall not be placed on the ground such that a beam of light is directed upward to illuminate the building wall(s). This provision shall not apply to floodlighting used to illuminate flags.
- e) Site lighting shall be located and shall be of a design and height so as to illuminate only the interior of the property.
- f) No flashing, traveling, animated, or intermittent lighting shall be visible from the exterior of any building whether such lighting is of temporary or long-term duration. This provision shall not apply to seasonal (i.e. holiday) lighting and/or displays.

## **5-30.85 Utility Requirements**

- a) All lots that contain a permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a permitted building, and all such buildings thereon, shall be served



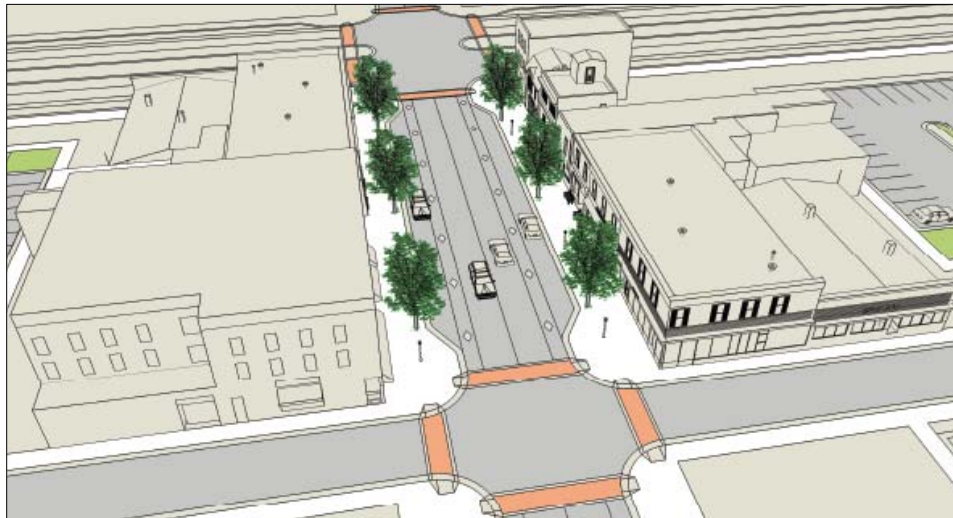
- exclusively by a public sewer system.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.

## 5-40 Traditional Town Center (TTC) District

### 5-40.10 Intent

The Traditional Town Center (TTC) District is established to preserve, protect and enhance the historic center of the Town along and around Main Street. The regulations in this District are intended to promote a compact, fine-grained mix of uses, including retail, residential, office, workshops, and civic uses, in the Town's center. The district is oriented to the pedestrian with wide sidewalks and building fronts close to the street edge. Parking and garages are located in the rear. The design character of the Traditional Town Center is intended to maintain the historic character and architectural integrity of existing buildings and set forth guidelines for new development that are compatible in scale with the historic downtown.

The illustration below is advisory only. Refer to the Code standards for the specific prescriptions of this section.



### 5-40.20 Permitted Uses

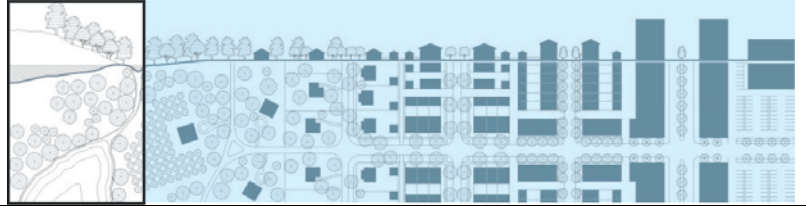

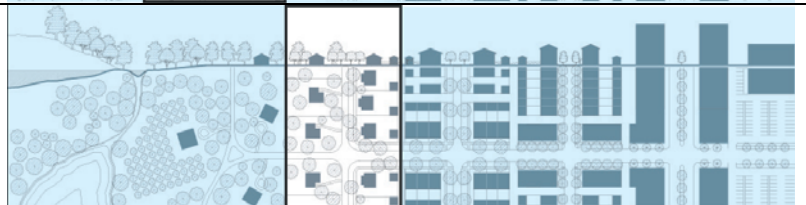

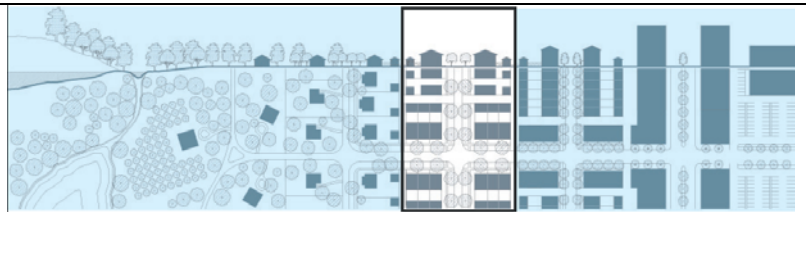
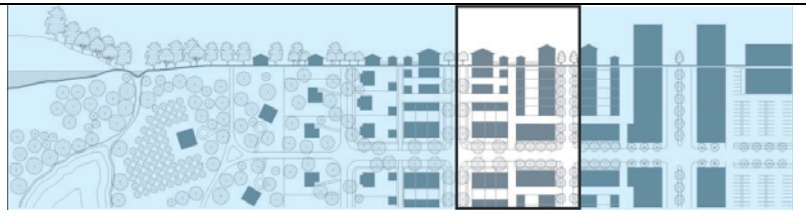
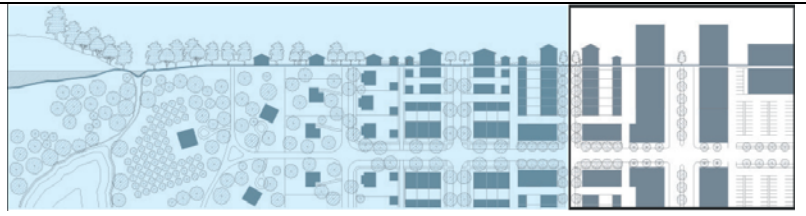
The uses permitted by-right, permitted with a special use permit, and prohibited within the Traditional Town Center District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

### 5-40.30 Establishment of Transect Zones

Development within the Traditional Town Center District shall be regulated according to the standards within each of six Transect Zones as described below. Each of the six basic Transect Zones represents a spectrum of development character and intensities. Three of the Transect Zones are used in the Traditional Town Center District as defined in the Regulating Plan in Section 5-40.40

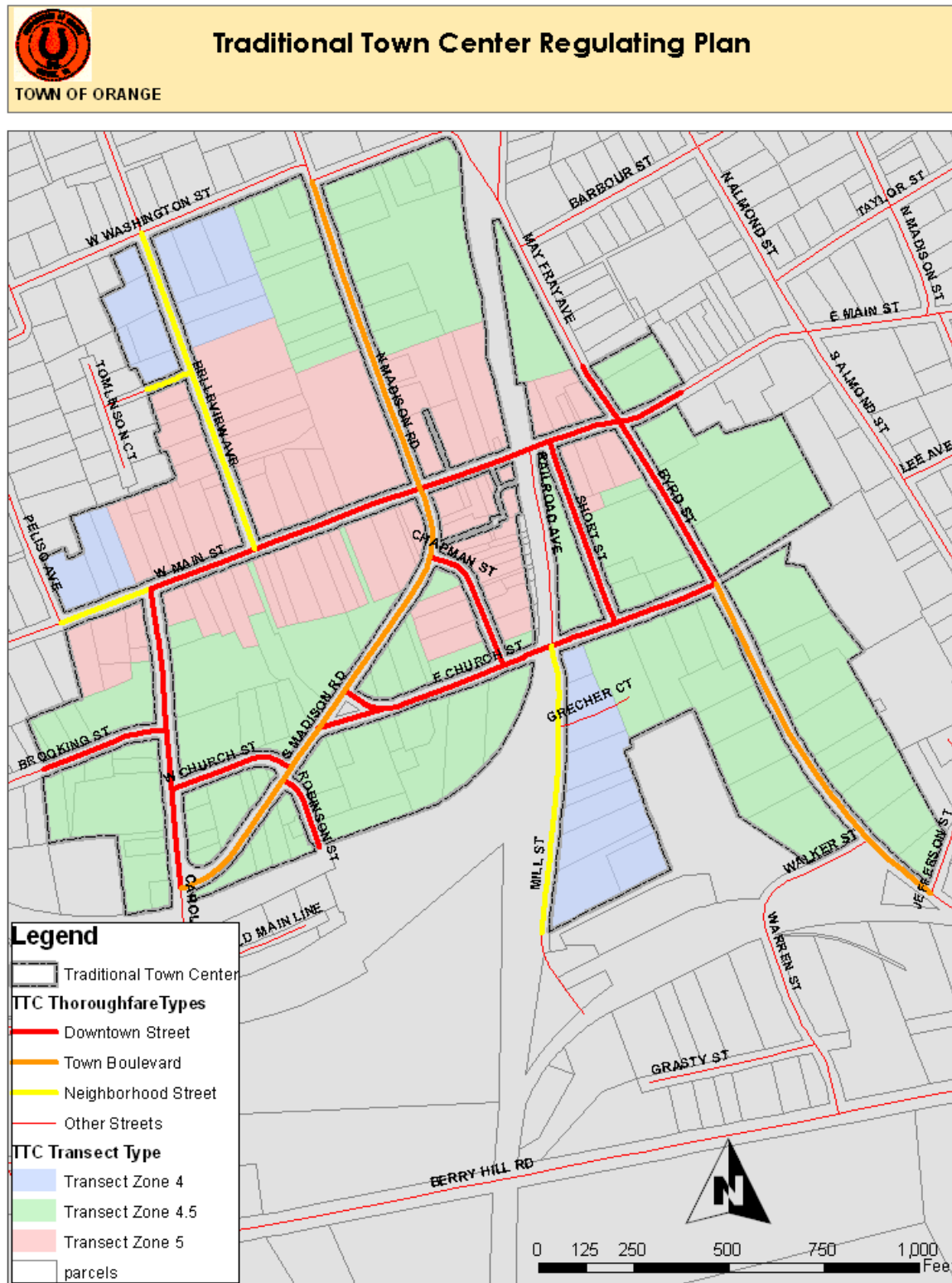
**Table A.**

This Table provides a generalized description of the Transect Zones for the Town of Orange.

<p>T-1 Natural Zone consists of natural lands and permanent open space areas that are intended for preservation within the Town. This zone also includes lands unsuitable for settlement due to topography, hydrology or vegetation.</p>	
<p>T-2 Rural Zone consists of sparsely settled residential and commercial areas that have an open “country road” feel. These include some areas at the edges of the Town. Typical buildings are single-family homes, farmhouses, agricultural buildings, and rural commercial buildings.</p>	
<p>T-3 Sub-Urban Zone consists of lower density residential areas, developed in a suburban pattern. Planting is naturalistic and setbacks are relatively deep. Blocks may be large and the roads irregular to accommodate natural conditions.</p>	
<p>T-4 General Urban Zone consists of historic residential areas, as well as residential structures that have been converted to commercial use and are adjacent to more intense, mixed-use zones. It may have a wide range of building types including detached homes and row houses. Home occupations and accessory dwelling units are included. Setbacks and landscaping are variable, but consistent with historic patterns. Streets with curbs and sidewalks define medium-sized blocks.</p>	
<p>T-4.5 General Urban Zone consists of a mixed use but primarily commercial urban fabric that has been converted from an auto-oriented commercial pattern to a compact, mixed use fabric consistent with the historic downtown. It may have a wide range of building types. Setbacks and landscaping are variable. Streets with curbs and sidewalks define medium to large-sized blocks.</p>	
<p>T-5 Urban Center Zone consists of higher density mixed use building that accommodate retail, offices, and multi-family residential. It has a tight network of streets, with wide sidewalks, regular street tree planting and buildings set close to the sidewalks. The historic downtown of Orange lies within the primary urban center zone.</p>	
<p>T-6 Urban Core Zone consists of the highest density and height, with the greatest variety of uses, and civic buildings of regional importance. It may have larger blocks; streets have steady street tree planting and buildings set close to the wide sidewalks. This zone is typically found in much larger towns and cities and is not currently present in the Town of Orange.</p>	

## 5-40.40 Establishment of the Regulating Plan

The following Regulating Plan establishes the locations of the Transect Zones and Thoroughfare Types within the Traditional Town Center District.



## 5-40.50 Intent of the Transect Zones

The intent of the Transect Zones is as follows:

**5-40.50-11 T-4 Transect Zone Intent.**

The intent of this zone is to reinforce the traditional residential and converted residential character of the existing historic areas of the Town. This zone is intended to ensure that buildings maintain a compatible size, shape, and scale with existing neighborhood architecture.

**5-40.50-12 T-4.5 Transect Zone Intent**

The primary intent of this zone is to ensure a compatible extension of the existing historic built character of downtown into adjacent areas. The intent is further to ensure that these areas may redevelop into compact, mixed-use centers as time and economic opportunity allow and promote the pedestrian and bicycle accessibility in the historic downtown.

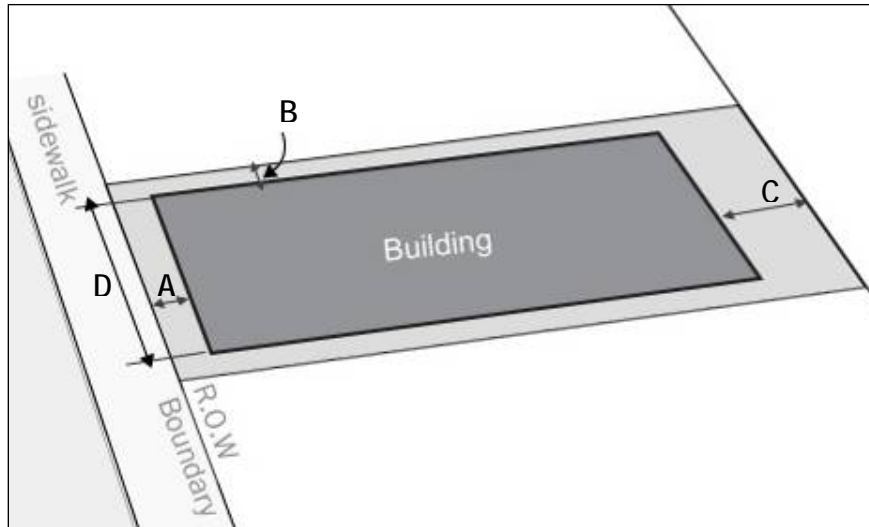
**5-40.50.13 T-5 Transect Zone Intent**

The primary intent of this zone is to emphasize the mixed-use, pedestrian-oriented nature of Main Street within the existing historic downtown. The intent is further to ensure compatibility with the compact, traditional mixed shop front, mercantile and residential character of the historic core of Orange and to protect the historic character from transformation by incompatible architecture and development patterns.

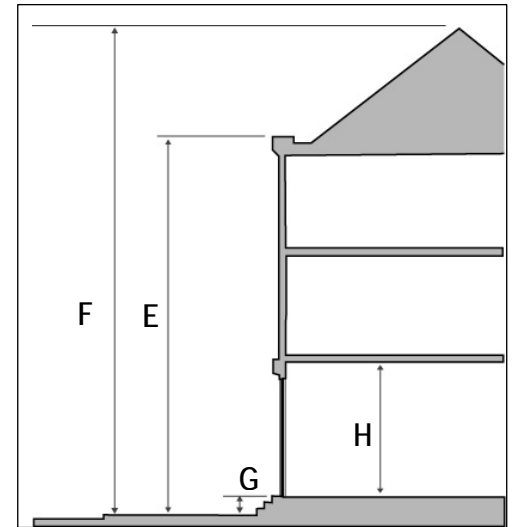
## 5-40.60 Development Standards

The general development standards within each of the Transect Zones are defined by the following tables and illustrations.

## Traditional Town Center District - Transect Zone 4 Development Standards



Building Requirements



Building Height

### Building Requirements

#### Setbacks

A	Street Front	12' min. - 20' max.
B	Side	3' min. on any side 12' combined min. 30' combined max.
C	Rear	20' min.
D	Minimum Frontage	n/a

### Building Height

E	Height of front façade	2 - 3 story
F	Height to Roof	45' max.
G	First floor height above grade	1' min. - 4' max.
H	First floor ceiling height	10' min.

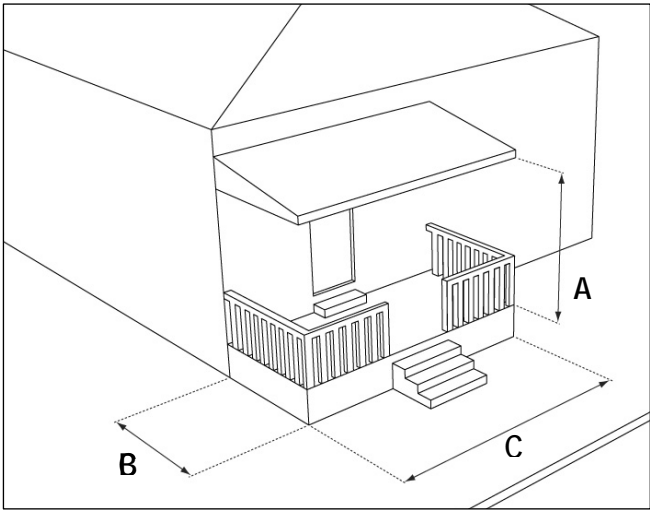
### Accessory Structures

Setback	Place behind principal structure, 3' side and/or rear
Height	Top of roof cannot exceed height of façade of principal building

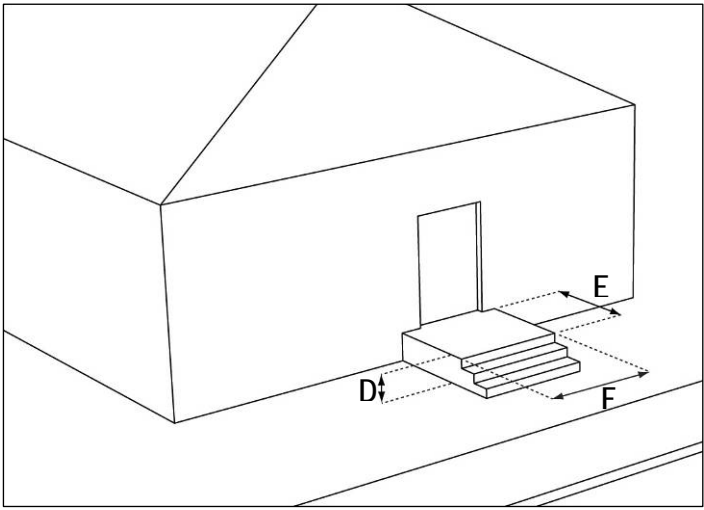
### Lot Requirements

Lot Area	5,000 sq. ft. min.
Lot Width	30' min.
Block Length	250' min. - 450' max.
Lot Access	Each lot must front a public street

Traditional Town Center District - Transect Zone 4 Development Standards



Porch



Stoop

Frontage Types

Porch

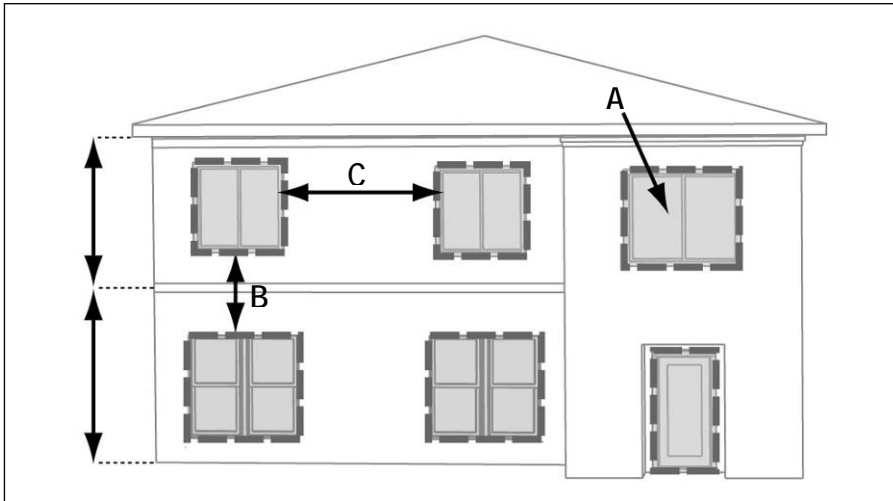
A	Ceiling	9' – 12'
B	Minimum Depth	6'
C	Minimum Width	50% of front façade width

Stoop

D	Height	4' max.
E	Depth	4' – 8'
F	Width Along Frontage	4' – 12'



## Traditional Town Center District - Transect Zone 4 Development Standards



Fenestration

### Fenestration

Fenestration, which includes windows and doors, must open into habitable spaces and cover a certain percentage of all facades of the building facing a street or public or private open space, as detailed below.

Total	15% min. – 30% max.
A Individual Openings	≤34% of total fenestration per floor, excluding the 1 <sup>st</sup> floor

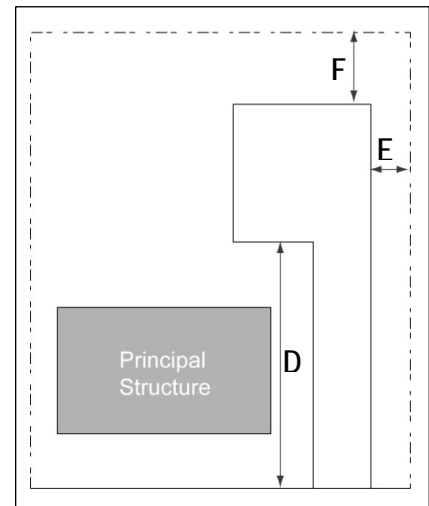
Wall openings shall not span vertically more than one story.

Wall openings shall correspond to interior space and shall not span across building structure such as the floor's structural and mechanical thickness.

#### Window Regulations

B Vertical Spacing	3' min.
C Horizontal Spacing	20' max.

Window/Door areas shall comply with Sec. 5.40.116



Parking

### Parking

D Front Setback	Behind principal structure <sup>3</sup>
E Side Yard Setback	6' min. <sup>4</sup>
F Rear Yard Setback	6' min.

### Civic Space Standards

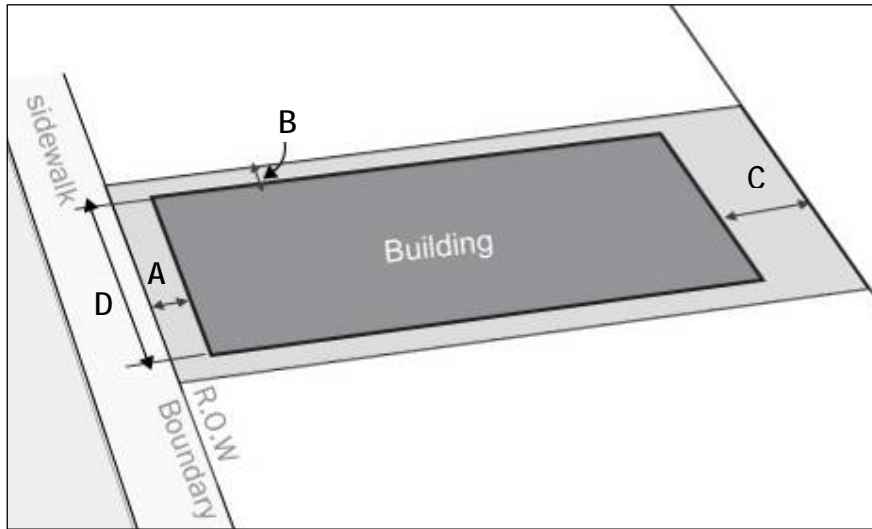
Where practicable, public and civic open spaces shall be surrounded by building facades and walls which enclose and define the outer edges of the space

<sup>3</sup> Off-street parking areas shall be located behind the principal structure where practicable. Parking may be in a garage that is architecturally integrated into the principal structure provided that the garage door is not on the front façade of the building

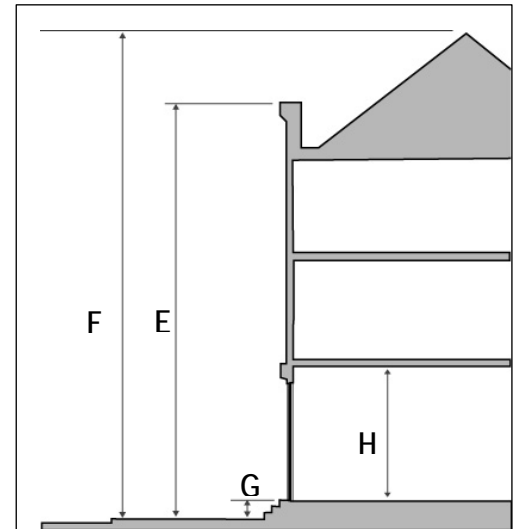
<sup>4</sup> 10' min. when adjacent to public streets



## Traditional Town Center District - Transect Zone 4.5 Development Standards



Building Requirements



Building Height

### Building Requirements

#### Setbacks

A	Street Front	3' min.- 20' max.
B	Side	3' min.-15' max.
C	Rear	With alley 12' min.
		Without alley 20' min.
D	Minimum Frontage <sup>5</sup>	50% at setback line

### Building Height

E	Height of front façade	1 - 3 story
F	Height to Roof	55' max.
G	First Floor height above grade	0' min.-4' max.
H	First floor ceiling height	12' min.

### Accessory Structures

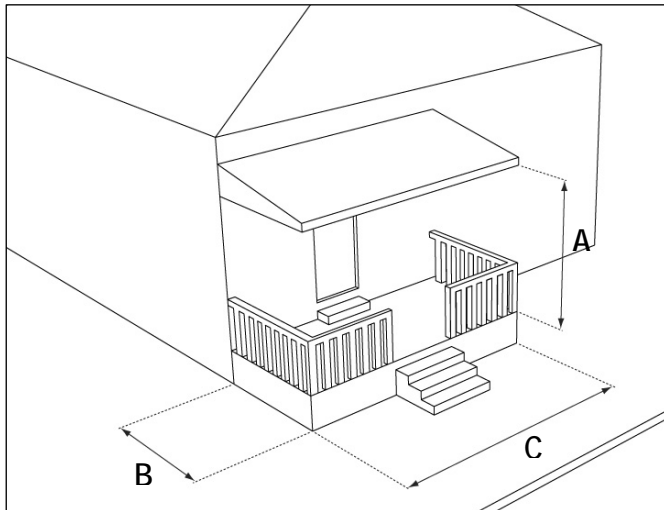
Setback	10' min. front, 3' min. side and rear
Height	Top of roof cannot exceed height of façade of principal building

### Lot Requirements

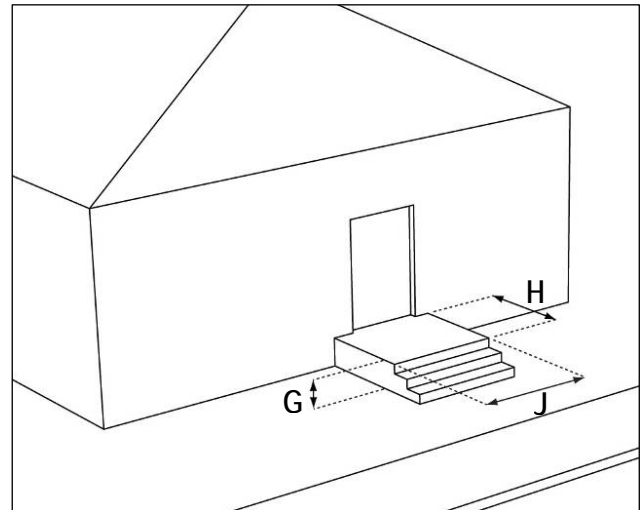
Lot Area	3,000 sq. ft. min.
Lot Width	30' min.
Block Length	250' min.-450' max.
Lot Access	Each lot must front a public street

<sup>5</sup> Minimum frontage is the percent of the lot frontage that is required to be occupied by the front façade of the building and is measured at the maximum front setback line of the property.

# Traditional Town Center District - Transect Zone 4.5 Development Standards



Porch



Stoop

## Frontage Types

### Porch

A	Ceiling	9' – 12'
B	Minimum Depth	6'
C	Minimum Width	50% of front façade width

### Awning

D	Height Over Floor Level of Next Highest Story (Measured at Top of Awning)	1' max.
E	Depth	12' max.
F	R.O.W. Projection	6' max.

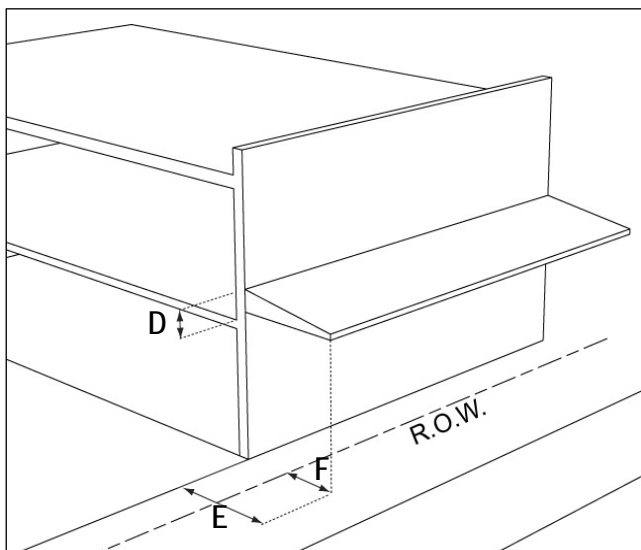
## Additional Frontage Types

### Stoop

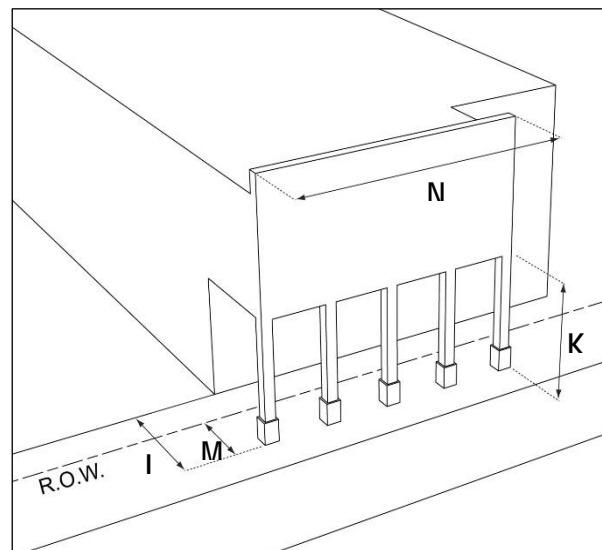
G	Height	4' max.
H	Depth	4' - 8'
J	Width Along Frontage	4' - 12'

### Arcade

K	Height	10'-12'
L	Depth	6'-12'
M	R.O.W. Projection	6' max.
N	Minimum Width Along Frontage	50% of front façade width



Awning



Arcade

# Traditional Town Center District - Transect Zone 4.5 Development Standards



Fenestration

## Fenestration

Fenestration, which includes windows and doors, must open into habitable spaces and cover a certain percentage of all facades of the building facing a street or public or private open space, as detailed below.

A	First Floor	50% min. between 2'-8' above the fronting sidewalk
B	Additional Floors	15%-30%
C	Individual Openings	≤34% of total fenestration per floor, excluding the 1 <sup>st</sup> floor

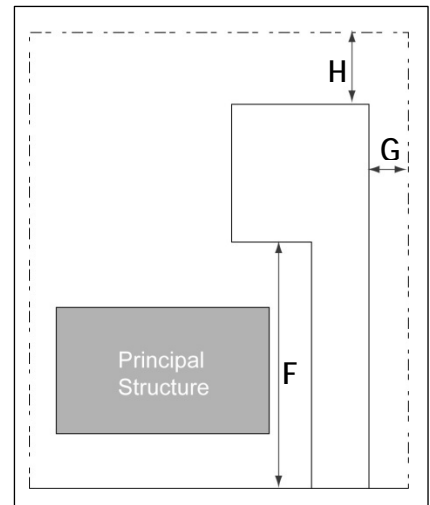
Wall openings shall not span vertically more than one story.

Wall openings shall correspond to interior space and shall not span across building structure such as the floor's structural and mechanical thickness.

### Window Spacing

D	Vertical	3' min.
E	Horizontal	20' max.

Window/Door areas shall comply with Sec. 5.40.116



Parking

## Parking

F	Front Setback	Behind principal structure for at least 50% of the total parking area <sup>6</sup>
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The portion of parking that is not behind the principal structure must be visually screened from roadways either by the principal structure, by a 3'-6' high screen of evergreen landscaping, or by a 3'-6' decorative masonry wall. Landscaping and walls must be at edge of parking area, not of parcel.

G	Side Yard Setback	6' min.
H	Rear Yard Setback	10' min.

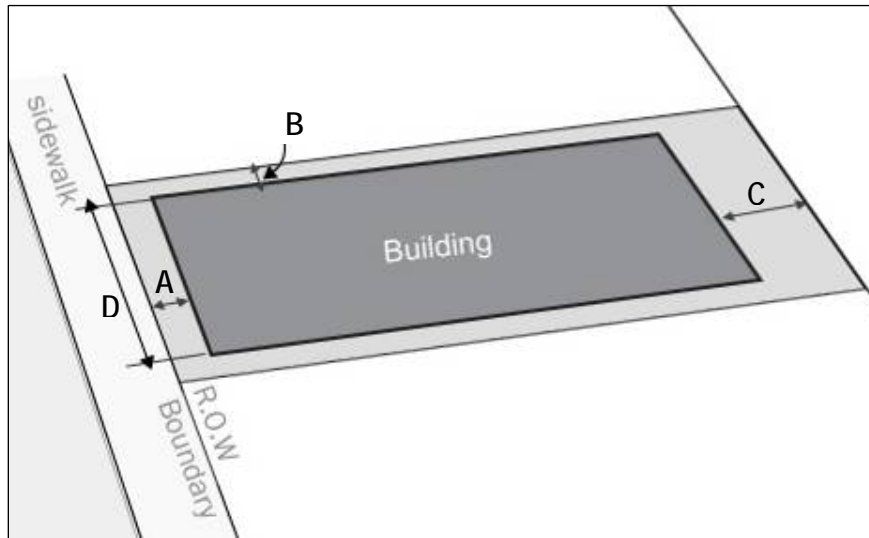
## Civic Space Standards

Alley R.O.W. width must be at least 10' but no more than 20'

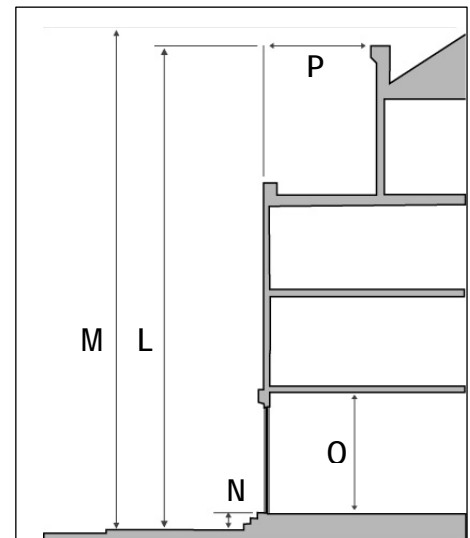
Any development involving at least 20,000 s.f. of developed area must provide one or more pocket parks or plazas that total at least 3% of the total combined land area of the lots.

<sup>6</sup> Inclusive of drive aisles.

# Traditional Town Center District - Transect Zone 5 Development Standards



Building Requirements



Building Height

## Building Requirements

### Setbacks

A	Street Front	0' min.-12' max.
B	Side	0' or 3'
C	Rear	With alley 3' min.
		Without alley 10' min.
D	Frontage <sup>8</sup>	75% min. at setback line

## Lot Requirements

Lot Area	3,000 sq. ft. min.
Lot Width	30' min.
Block Length	250' min.-450' max.
Lot Access	Each lot must front a public street

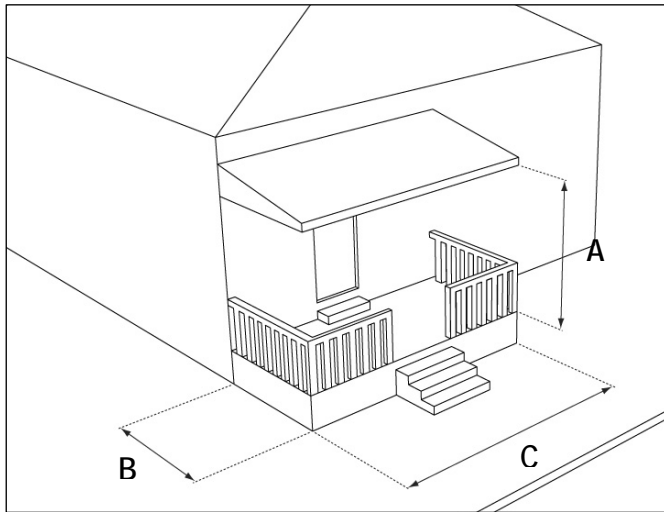
## Building Height

L	Height of front façade	2 – 4 story <sup>7</sup>
M	Height to Roof	65' max.
N	First floor height above grade	0' min.-2' max.
O	First floor ceiling height	12' min.
P	Fourth story setback from front of building	15' min.

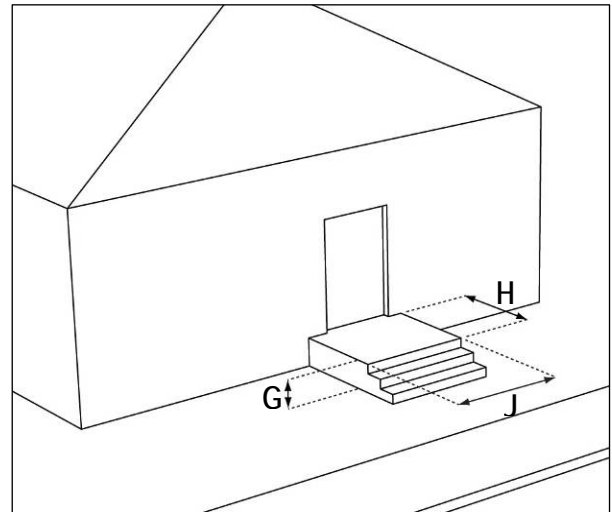
<sup>7</sup> A fourth story is permitted if the fourth story is stepped back (i.e. set back) at least an additional 15 feet from the front building façade.

<sup>8</sup> Minimum frontage is the percent of the lot frontage that is required to be occupied by the front façade of the building. It is measured at the maximum front setback line of the property.

# Traditional Town Center District - Transect Zone 5 Development Standards



Porch



Stoop

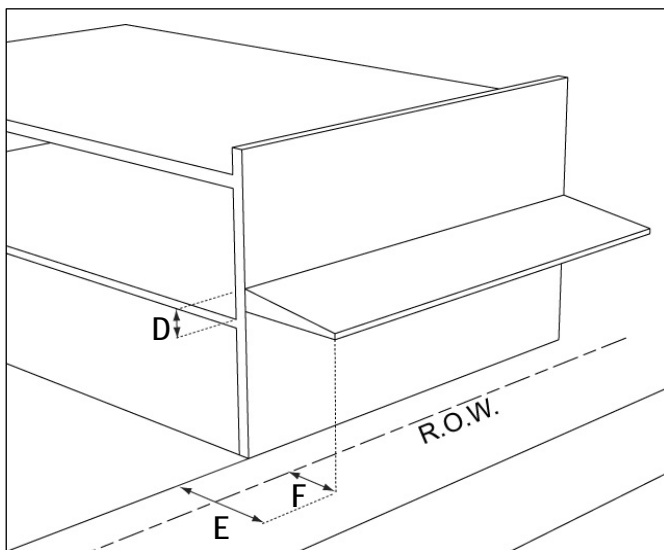
## Frontage Types

### Porch

A	Ceiling	9' – 12'
B	Minimum Depth	6'
C	Minimum Width	50% of front façade width

### Awning

D	Height Over Floor Level of Next Highest Story (Measured at Top of Awning)	1' max.
E	Depth	12' max.
F	R.O.W. Projection	6' max.



Awning

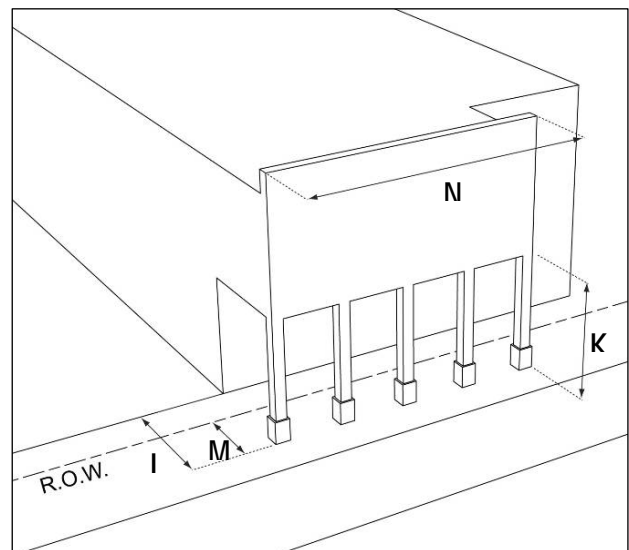
## Additional Frontage Types

### Stoop

G	Height	4' max.
H	Depth	4' - 8'
J	Width Along Frontage	4' - 12'

### Arcade

K	Height	10'-12'
L	Depth	6'-12'
M	R.O.W. Projection	6' max.
N	Minimum Width Along Frontage	50% of front façade width

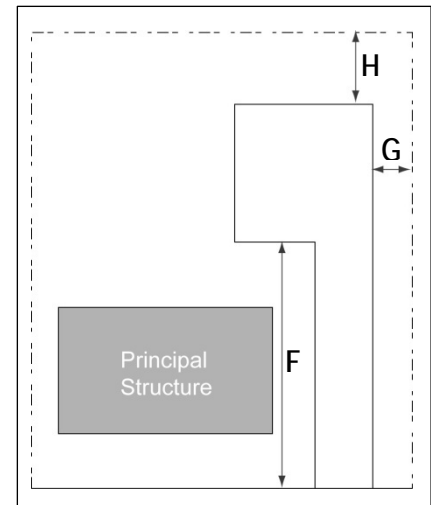


Arcade

## Traditional Town Center District - Transect Zone 5 Development Standards



Fenestration



Parking

### Fenestration

Fenestration, which includes windows and doors, must open into habitable spaces and cover a certain percentage of all facades of the building facing a street or public or private open space, as detailed below.

A	First Floor	50% min. between 2'-8' above the fronting sidewalk
B	Additional Floors	15%-30%
C	Individual Openings	≤34% of total fenestration per floor, excluding the 1 <sup>st</sup> floor

Wall openings shall not span vertically more than one story.

Wall openings shall correspond to interior space and shall not span across building structure such as the floor's structural and mechanical thickness.

#### Window Spacing

D	Vertical	3' min.
E	Horizontal	20' max.

Window/Door areas shall comply with Sec. 5.40.116

### Parking

F	Front Setback	Behind principal structure
Parking must be visually screened from roadways on side or rear of property by the principal structure, by a 3'-6' high screen of evergreen landscaping, or by a 3'-6' decorative masonry wall. Landscaping and walls must be at edge of parking area, not of parcel.		
G	Side Yard Setback	6' min.
H	Rear Setback	6' min.

### Civic Space Standards

Alley R.O.W. width must be at least 10' but no more than 20'

Any development involving at least 20,000 s.f. of developed area must provide one or more pocket parks or plazas that total at least 5% of the total combined land area of the lots.

## Traditional Town Center District – Public Space Standards

### 5-40.70 Establishment of Thoroughfare Types

The thoroughfare types described herein are hereby established within the Traditional Town Center District. The locations of the thoroughfare types within the Traditional Town Center District are identified on the Regulating Plan in Section 5-40.40.

1. Downtown Street,
2. Town Boulevard,
3. Neighborhood Street.

### 5-40.71 Intent of the Thoroughfare Types

The intent of the Thoroughfare Types is as follows:

#### **5-40.71-11 Downtown Street Intent**

The Downtown Street thoroughfare type is a focal point for the larger region and serves as a “main street”, providing lower-speed access to high-density mixed use commercial and residential areas. Commercial and retail uses line the street at ground level with office or residential uses on the floors above. The narrower street width, on-street parking, street trees, and reduced setbacks create spatial enclosure. Sidewalk bulb-outs or pedestrian refuge islands may be used to minimize pedestrian crossing distances. Individual street trees are typically planted in planting wells. A Downtown Street has a raised curb and closed drainage.

#### **5-40.71-12 Town Boulevard Intent**

The Town Boulevard thoroughfare type is intended to accommodate short distance, medium speed connection between regional, larger scale commercial uses. Like the Downtown Street, this streetscape incorporates wide sidewalks, a variety of vegetated components, and crosswalks. Parking relegated to the side or rear of the buildings combined with smaller setbacks helps reinforce a walkable, pedestrian-oriented environment. Medians and buffers may be planted with trees or landscaped with low vegetation. Planting strips and on-street parking separate pedestrians from vehicular traffic. The Town Boulevard corridors have curb and gutter drainage and, where compatible, may have bike lanes.

#### **5-40.71-13 Neighborhood Street Intent**

The Neighborhood Street thoroughfare type serves to protect the existing residential character of the area, while reducing travel speeds to promote a safe, pedestrian environment. Narrow travel lanes, standard residential setbacks, sidewalks, as well as multimodal access contribute to the street’s character. Parking is setback from the street to maintain a consistent street frontage and orient the street to pedestrians.

## Traditional Town Center District – Public Space Standards

### 5-40.72 Design Standards

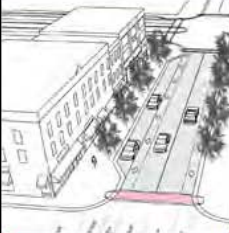

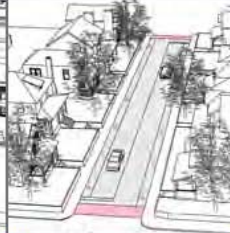
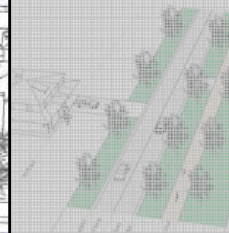
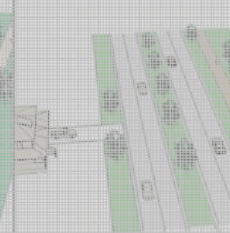
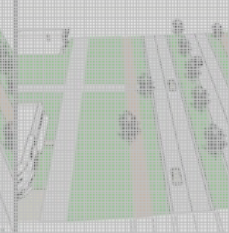
The design standards for each of the Thoroughfare Types are defined by the following tables and illustrations. Where a standard below conflicts with a specific provision found elsewhere in this Ordinance, the specific provision of the Ordinance shall govern; otherwise, the standard below shall control. Further, these standards are not intended to interfere with or supersede any design standards approved for any public street by any ordinance, map or plan duly adopted by the Town Council of the Town of Orange.



## Traditional Town Center District – Public Space Standards

**Table B.**

This Table provides the general design standards of the Thoroughfare Types within the Traditional Town Center District.

Town of Orange - Street Design Standards					
					
<b>Downtown Street</b>	<b>Town Boulevard</b>	<b>Neighborhood Street</b>	<b>Rural Lane</b>	<b>Residential Parkway</b>	<b>Commercial Parkway</b>
<b>Lane Width</b>					
10'	11'	10'	12'	12'	12'
<b>Number of Lanes</b>					
2	2	2	2	4	4
<b>Right of Way</b>					
64-84'	68-72'	42'	50-70'	106'	115-152'
<b>Posted Speed</b>					
25 m.p.h.	25 m.p.h.	25-35 m.p.h.	35-45 m.p.h.	varies	varies
<b>Shoulder</b>					
-	-	-	2'	2'	2'
<b>Sidewalk Width</b>					
10-20'	8'	5'	-	-	-
<b>Median Width</b>					
-	10-14'	-	-	15'	15-52'
<b>Land Use</b>					
mixed use	mixed use	residential/ mixed use	residential	residential/ agriculture	commercial/ retail
<b>Parking</b>					
10' on-street/ parallel	off-street	off-street	off-street	off-street	off-street
<b>Bicycle Lane/ Multi-Use Path Width</b>					
5'	4'	4'	10-12' (MU Path)	10' (MU Path)	10' (MU Path)
<b>Curb + Drainage</b>					
6" + gutter pan	6" + gutter pan	6" + gutter pan	none + drainage swale	none + drainage swale	none + drainage swale
<b>Planting Strip</b>					
-	4'	-	varies	10-15'	10'

## Traditional Town Center District – Public Space Standards

5-40.80 Reserved

## Traditional Town Center District – Streetscape Standards

### 5-40.90 Intent

Streetscape Standards are provided to ensure the coherence of streets within the Traditional Town Center District and serve to assist building owners and operators with understanding the relationship between the street and their own lots. As part of these standards, the street and building façade receives more attention than the rest of the building. The desired aesthetic along the street is defined by streetscape elements, such as decorative paving, benches, lighting and waste-bins, street trees and public art. These standards establish an environment that encourages and facilitates pedestrian activity.

### 5-40.100 Relationship to Thoroughfare Types

Streetscape improvements within the Traditional Town Center District shall be regulated according to the standards within each of three thoroughfare types. The thoroughfare types are established in Section 5-40.70 and identified on the Regulating Plan in Section 5-40.40.

1. Downtown Street,
2. Town Boulevard,
3. Neighborhood Street.

The streetscape standards for each Thoroughfare Type are described below in Section 5.40.110

### 5-40.110 Establishment of Streetscape Standards

The general streetscape standards for the Traditional Town Center District are prescribed below, provided that the requirements of this subsection shall apply to a subdivision and/or development subject to the requirement for a site development plan in accordance with Section 12-20, and provided further that the construction of a single-family dwelling or duplex dwelling, or structure or parking area accessory thereto, on a lot recorded prior to the adoption of this Chapter shall be considered exempt from the requirements of this subsection. The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's property lies.

#### 5-40.111 Street Trees

- a) Street trees shall be required along streets according to the following standards:
  - 1) Neighborhood Street: Regularly spaced at intervals of 30-40 feet on center
  - 2) Town Boulevard: Regularly spaced at intervals of 30-40 feet on center
  - 3) Downtown Street: Regularly spaced at intervals of 25-30 feet on center
- b) Street trees shall be limbed up so as to not interfere with pedestrian or automobile travel. A minimum vertical clearance of 7 feet shall be provided above the sidewalk and 14 feet above the travel lanes of the street.
- c) On sidewalks 8 feet or wider, metal tree grates at least 4 feet by 6 feet in size shall be installed around street tree pit areas to prevent pedestrian damage to planting materials when trees are located in the sidewalk.

## 5-40.112 Sidewalks

- a) Sidewalks shall be required along both sides of all streets according to the following standards:
  - 1) Neighborhood Street: Minimum 5-foot wide sidewalks required along both sides of street
  - 2) Town Boulevard: Minimum 8-foot wide sidewalks required along both sides of street
  - 3) Downtown Street: Minimum 10-foot wide sidewalks required along both sides of street
- b) Along Downtown Streets and Town Boulevards, the front yard between the sidewalk and building façade shall be developed as a sidewalk extension or decorative plaza for café/restaurant use, landscaped area, or other functional space for public gathering or public use.
- c) Consistency of paving design shall be required within a development project and for each thoroughfare type.

## 5-40.113 Street Furniture

- a) One (1) bench with arm rests shall be provided at regular intervals not exceeding 150 feet, on average, along the street frontage, measured parallel to the street beginning at the intersection of any two streets. The Victor Stanley Steelsites Model No. R-B 28 or equivalent model as approved by the Zoning Administrator shall be used within the Traditional Town Center District.



**Victor Stanley Steelsites Model No. R-B 28**

- b) Benches should be a consistent color within developments and should match other furnishings and streetlights.

- c) At a minimum, one (1) waste bin will be provided at each block corner or building corner. The Victor Stanley Steelsites Model No. NSDC-36 or equivalent model approved by the Zoning Administrator shall be used within the Traditional Town Center District.

- d) Bicycle racks having a minimum two-bike capacity shall be installed along both sides of the street at intervals not exceeding 500 feet, on average, measured parallel to the street beginning at the intersection of any two streets. The standard bike rack is an inverted “U” in galvanized steel. Racks should be a consistent color and should match streetlights, waste bins, and benches.



**Victor Stanley Steelsites Model No. NSDC-36**

- e) The placement, model and type of all street furniture and fixtures shall be reviewed and approved by the Zoning Administrator.

## 5-40.114 Lighting

- a) Street lights shall be installed along both sides of all streets. The Lumec Ancestra AT-50 shall be used on all Downtown Streets, and the Lumec Candela CAND1-CN1 shall be used on all Town Boulevards and Neighborhood Streets, or equivalent models subject to review and approval by the Zoning Administrator. Such lights shall utilize 100-watt metal halide bulbs or approved equivalent.
- b) In order to minimize light pollution, light should be directed downward to the immediate area being lighted and away from any living quarters.
- c) Street lights shall be dark sky compatible. Lighting shall be designed and installed to be fully shielded (i.e. full cutoff) and shall have a maximum lamp wattage of 250 watts HID (or lumen equivalent) for commercial lighting, 100 watts incandescent and/or 26 watts compact fluorescent for residential lighting (approximately 1,600 lumens). In residential areas, light should be shielded such that the lamp itself or the lamp image is not directly visible outside the perimeter property.
- d) Street lights shall be installed at least 12 feet and not more than 14 feet in height above grade with a maximum average spacing of 75 feet on center along each side of the street.
- e) Floodlights or directional lights with maximum 100-watt metal halide bulbs may be used to illuminate alleys, parking garages and maintenance areas, but must be shielded or aimed in such a way that they do not shine onto other lots, the street, or direct light out of the Traditional Town Center District.
- f) Lights shall not be placed on the ground such that a beam of light is directed upward to illuminate the building wall(s). This provision shall not apply to floodlighting used to illuminate flags.
- g) Site lighting shall be located and shall be of a design and height so as to illuminate only the interior of the property.
- h) No flashing, traveling, animated, or intermittent lighting shall be visible from the exterior of any building whether such lighting is of temporary or long-term duration. This provision shall not apply to seasonal (i.e. holiday) lighting and/or displays.



## 5-40.115 Lots with Frontage on Multiple Thoroughfare Types

Where the designated Thoroughfare Type changes along the frontage of a parcel as shown on the Regulating Plan, or where a lot has frontage on more than one thoroughfare type (i.e. a corner lot), the Thoroughfare Type occupying the greater percentage of the lot frontage shall be used to determine the streetscape standards along the entire frontage of the lot.

## **5-40.116 Utility Requirements**

- a) All lots that contain a permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a permitted building, and all such buildings thereon, shall be served exclusively by a public sewer system.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.



## Traditional Town Center District – Architectural Standards

### 5-40.120 Intent

The intent of the Architectural Standards is to promote a coherent and pleasing architectural character that is complementary to the best local traditions and fosters a coherent Town Center aesthetic. The standards govern a building's architectural elements and set the parameters for allowable materials, configurations, and construction techniques.

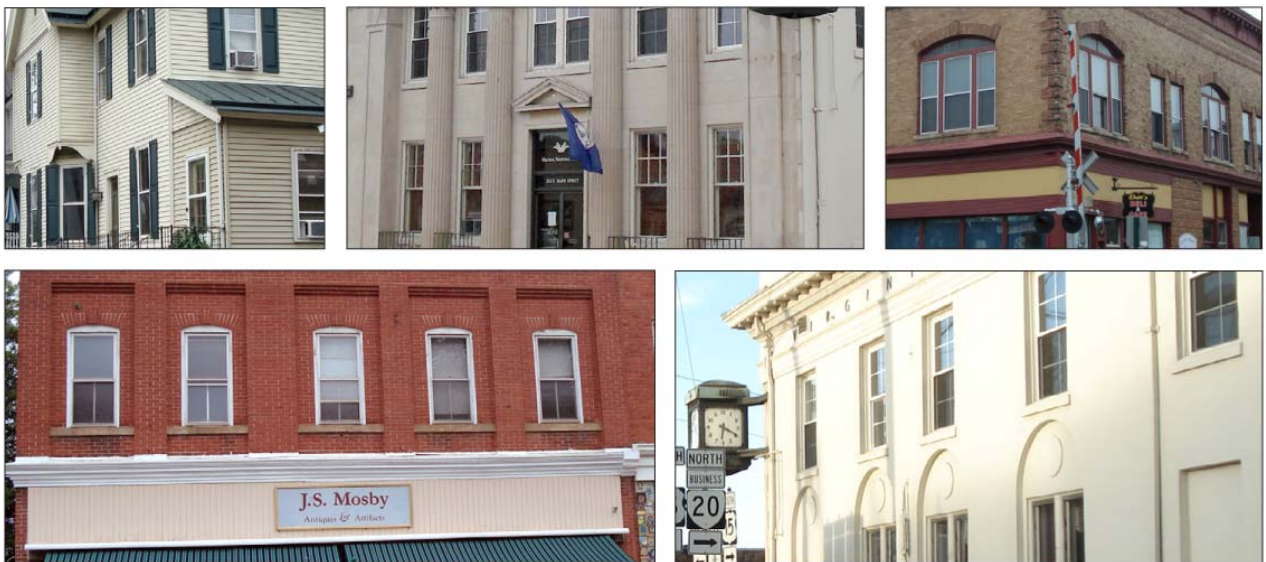
### 5-40.130 Establishment of Architectural Standards

The general architectural standards for the Traditional Town Center District are defined below:

#### 5-40.131 Exterior Building Walls

Building walls should reflect and complement the traditional materials and techniques of the Town's regional architecture. They should express the construction techniques and structural constraints of traditional, long-lasting, building materials. Simple configurations and solid craftsmanship are favored over complexity and ostentation in building form and the articulation of details. All building materials to be used shall express their specific properties. For example, heavier more permanent materials (masonry) support lighter materials (wood).

The illustrations on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



#### 5-40.132 Standards for Building Walls

- a) Materials: The following materials are permitted.
  - 1) Brick and tile masonry
  - 2) Stucco (cementitious finish)
  - 3) Native stone (or synthetic equivalent)
  - 4) Pre-cast masonry (for trim and cornice elements only)

- 5) Gypsum Reinforced Fiber Concrete (GFRC—for trim elements only)
- 6) Metal (for beams, lintels, trim elements and ornamentation only)
- 7) Split-faced block (only for piers, foundation walls and chimneys)
- 8) Wood lap siding
- 9) Hardie-Plank™ equivalent or better siding
- 10) PVC (for trim elements and ornamentation)

- b) Wall materials shall be consistent horizontally, that is, joints between different materials must be horizontal and continue around corners, except for chimneys and piers.

## 5-40.133 Roofs and Parapets

Roofs and parapets should demonstrate recognition of the climate by utilizing appropriate pitch, drainage, and materials in order to provide visual coherence to the Traditional Town Center District. The illustrations on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



## 5-40.134 Standards for Roofs and Parapets

- a) Materials: The following materials are permitted.
  - 1) Clay or concrete (faux clay)
  - 2) Tile (barrel or flat roman)
  - 3) Slate (equivalent synthetic or better)
  - 4) Metal (standing seam 5-v crimp, equivalent or better)
  - 5) Dimensional Asphalt shingles
  - 6) Cornices and soffits may be a combination of wood, vinyl, and/or metal
- b) Configurations and Techniques: The following configurations and techniques are permitted.
  - 1) Simple hip and gable roofs shall be symmetrically pitched not to exceed 12:12.
  - 2) Shed roofs, attached to the main structure, shall be pitched not to exceed 12:12.
  - 3) Parapet walls are allowed only within the T-4.5 and T-5 transect zones. Any flat roof must have a parapet wall at least 3 feet above the finished roof and sufficient to visually shield any roof equipment from view of the frontage street.



- 4) Green roof technologies are permitted.

## 5-40.135 Windows and Doors

Windows shall be divided by multiple panes of glass. This helps the window “hold” the surface of the façade, rather than appearing like a “hole” in the wall (an effect produced by a large single sheet of glass). All windows and doors should be selected with their energy conservation value in mind so as to achieve the highest possible energy savings. The illustrations on this page are advisory only. Refer to the Code standards below for the specific prescriptions of this section.



## 5-40.136 Standards for Windows and Doors

- a) Materials: Where clearly visible from the street, the following materials are permitted.
  - 1) Window frames shall be of anodized aluminum, wood, clad wood, vinyl, or steel.
  - 2) Window glass shall be clear or tinted, but not mirrored.
  - 3) Doors shall be of wood, clad wood, or steel.
- b) Configurations and Techniques: The following requirements apply to all windows.
  - 1) Exterior shutters, if applied, shall be sized and mounted appropriately for the window (one-half the width), even if inoperable.
- c) The following requirements apply to all upper-story windows:
  - 1) Windows shall be double-hung, single-hung, awning, or casement windows.
  - 2) Windows shall be multi-paned, composed of at least two panes separated by mullions of the same material as the window frame.

## 5-40.137 Mechanical Equipment

- a) The following shall not be placed at any front building line, shall not be stored or located within any street, and shall be screened from view from the street:

- 1) Air compressors, mechanical pumps, exterior water heaters, water softeners, utility and telephone company transformers, meters or boxes, garbage bins and trash cans, storage tanks, and similar equipment.
- b) Roof-mounted equipment shall be screened from view from the street by a parapet wall.

## 5-50 Town Activity Center (TAC) District

### 5-50.10 Intent

The Town Activity Center (TAC) District is established to guide new development and long-term redevelopment that respects the character of the Town's historic downtown while providing a transition to the automobile-oriented parts of the Town. The regulations in this District are intended to promote a broad mix of uses, including retail, residential, office and civic uses along the Town's major entry corridors leading to the historic downtown. The district standards are intended to accommodate both pedestrian and auto needs and create an attractive streetscape that is compatible with the existing historic Town fabric, but allow for contemporary market needs, including larger scale buildings than currently exist in the historic downtown.

The illustration below is advisory only and is intended to illustrate the intended development character for the District. Refer to the Code standards below for the specific prescriptions of this section.



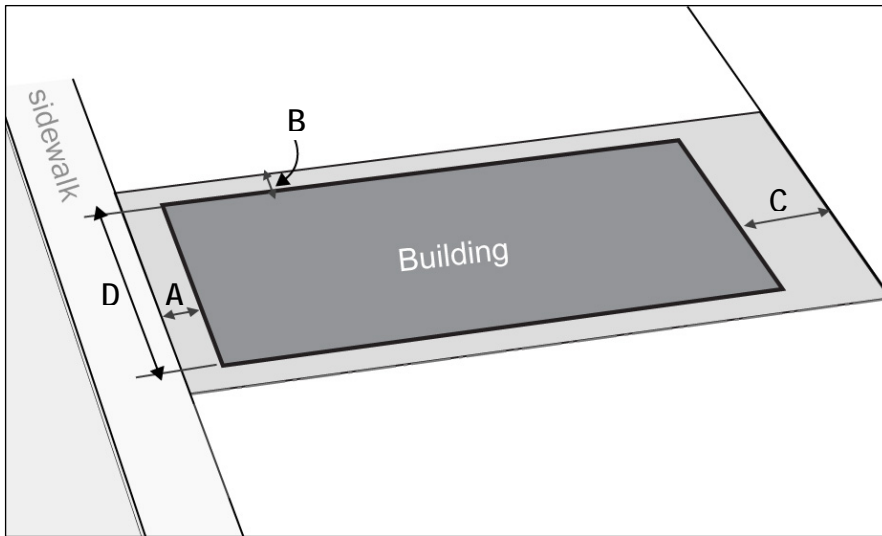
### 5-50.20 Permitted Uses

The uses permitted by-right, permitted with a special use permit, and prohibited within the Town Activity Center District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

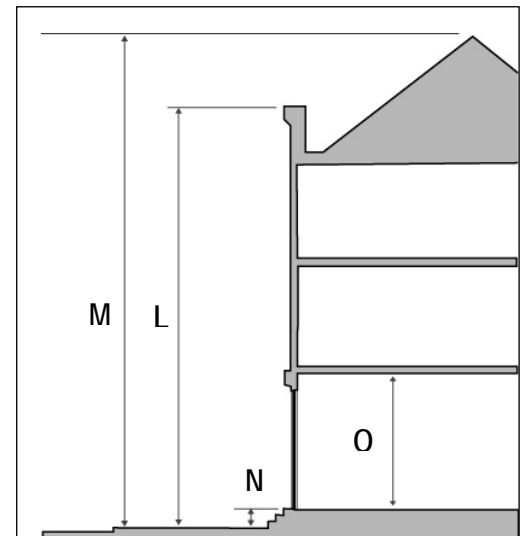
### 5-50.30 Development Standards

The general development standards for the Town Activity Center are defined by the following tables and illustrations.

## Town Activity Center District – Development Standards



Building Requirements



Building Height

### Building Requirements

#### Setbacks

A	Street Front	10' min (facades up to 35 feet in height); 20' (facades greater than 35 feet in height).
B	Side	10' min. for corner lots 5' min for interior lots
C	Rear	20' min., 40' min. for commercial uses abutting a residential district
D	Minimum Frontage	n/a

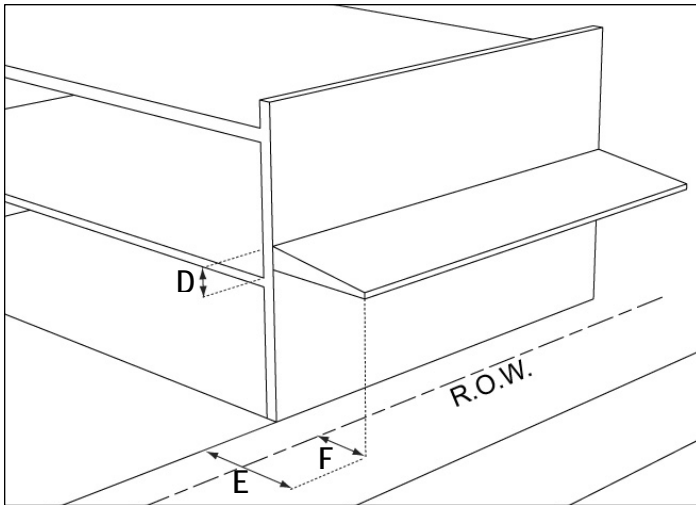
### Lot Requirements

Lot Area	3,000 sq. ft. min.
Lot Width	40' min.
Block Length	250' min.-660' max.
Lot Access	Each lot must front a public street

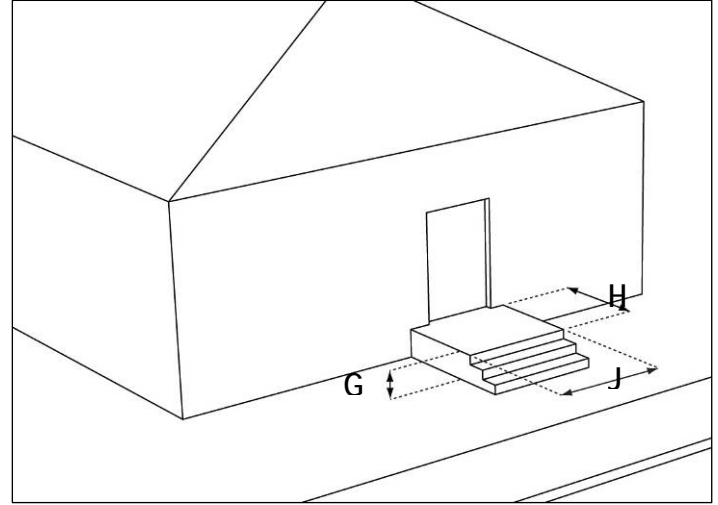
### Building Height

L	Height of front façade	3 story max
M	Height to Roof	55' max.
N	First floor height above grade	4' max.
O	First floor ceiling height	14' min.

## Town Activity Center District – Development Standards



Awning



Stoop

### Frontage Types

#### Awning

D	Height Over Floor Level of Next Highest Story <sup>9</sup>	2' max.
E	Depth	12' max.
F	R.O.W. Projection	6' max.

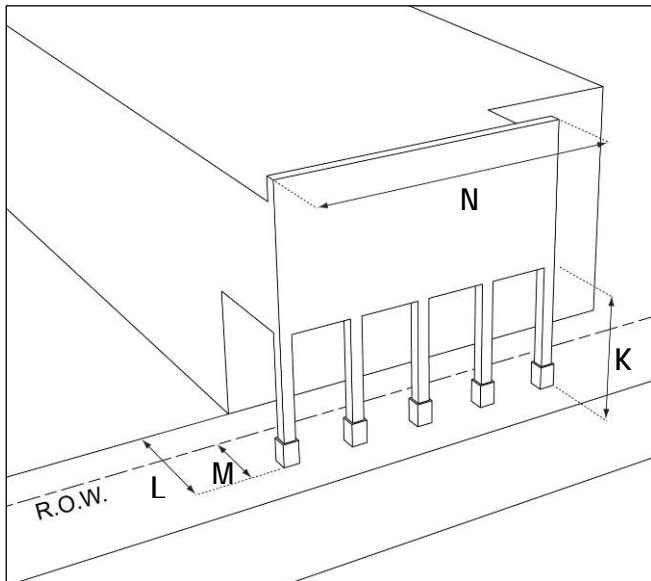
### Additional Frontage Types

#### Stoop

G	Height	4' max.
H	Depth	4' - 8'
J	Width Along Frontage	4' min.

#### Arcade

K	Height	10'-14'
L	Depth	8' -25'
M	R.O.W. Projection	6' max.
N	Minimum Width Along Frontage	50% of front façade width



Arcade

<sup>9</sup> Measured at top of awning

## Town Activity Center District – Development Standards



Fenestration

### Fenestration

Fenestration, which includes windows and doors, must open into habitable spaces and cover a certain percentage all facades of the building facing a street or public or private open space, as detailed below.

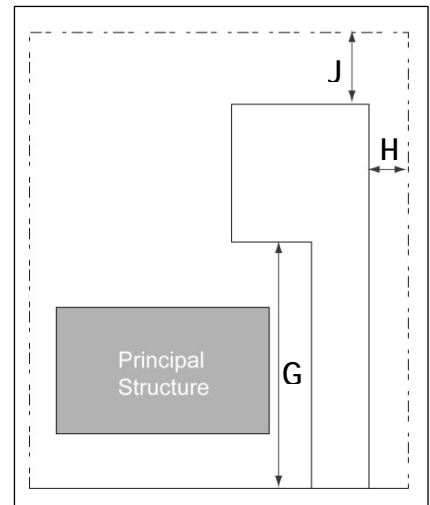
B	First Floor	40% min. for retail uses; 20% min. for non-retail uses
C	Additional Floors	15%-40%
D	Individual Openings	≤34% of total fenestration per floor, excluding the 1 <sup>st</sup> floor

Wall openings shall not span vertically more than one story.

Wall openings shall correspond to interior space and shall not span across building structure such as the floor's structural and mechanical thickness.

#### Window Spacing

E	Vertical	3' min.
F	Horizontal	20' max.



Parking

### Parking

G	Front Setback	10' min.
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The portion of parking that is not behind the principal structure must be visually buffered from roadways by a 3'-6' high screen of evergreen landscaping. Landscaping and walls must be at edge of the parking area, not of parcel.

H	Side Yard Setback	5' min.
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J	Rear Yard Setback	10' min.
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Parking must be visually screened from side and rear lot lines either by the principal structure, or by 3'-6' opaque fence and/or vegetative screen.

## Town Activity Center District – Public Space Standards

5-50.40-5.50.60 Reserved

## Town Activity Center - Streetscape Standards

### 5-50.70 Intent

Streetscape Standards are provided to ensure the coherence of streets within the Town Activity Center District and serve to assist building owners and operators with understanding the relationship between the public street and their privately-owned lots. The desired aesthetic along the street is defined by streetscape elements, such as such as brick pavers, benches, lighting and waste bins, street trees and public art. These standards establish an environment that encourages and facilitates pedestrian activity.

### 5-50.80 Establishment of Streetscape Standards

The streetscape standards for the Town Activity Center are prescribed below, provided that the requirements of this subsection shall apply to a subdivision and/or development subject to the requirement for a site development plan in accordance with Section 12-20, and provided further that the construction of a single-family dwelling or duplex dwelling, or structure or parking area accessory thereto, on a lot recorded prior to the adoption of this Chapter shall be considered exempt from the requirements of this subsection. The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's property lies.

#### 5-50.81 Street Trees

- a) Street trees shall be required along streets and shall be regularly spaced at 30-40 foot intervals, measured parallel to the street beginning at the intersection of any two streets.
- b) Street trees shall be limbed up so as to not interfere with pedestrian or automobile travel. A minimum vertical clearance of 7 feet shall be provided above the sidewalk and 14 feet above the travel lanes of the street.
- c) On sidewalks 8 feet or wider, metal tree grates at least 4 feet by 6 feet in size shall be installed around street tree pit areas to prevent pedestrian damage to planting materials when trees are located in the sidewalk.

#### 5-50.82 Sidewalks

- a) On Route 15 and Route 20, sidewalks not less than six (6) feet in width shall be required along both sides of the street.
- b) Sidewalks not less than four (5) feet in width shall be required along both sides of all other streets.
- c) Consistency of paving design shall be required within a development project.

#### 5-50.83 Street Furniture

- a) Benches with backs and arm rests shall be provided at regular intervals not exceeding 250 feet along the street frontage, measured parallel



Victor Stanley Steelsites Model No. R-B 28



to the street beginning at the intersection of any two streets. The Victor Stanley Steelsites Model No. R-B 28 or equivalent model approved by the Zoning Administrator shall be used within the Town Activity Center District.

- b) At a minimum, one (1) waste bin will be provided at each block corner or building corner. The Victor Stanley Steelsites Model No. NSDC-36 or equivalent model approved by the Zoning Administrator shall be used within the Town Activity Center District.



**Victor Stanley Steelsites Model No. NSDC-36**

- c) Bicycle racks having a minimum two-bike capacity shall be installed along both sides of the street at no more than 500-foot intervals, measured parallel to the street beginning at the intersection of any two streets.. The standard bike rack is an inverted “U” in galvanized steel with a baked-on black paint finish.

- d) The placement, model and type of all street furniture and fixtures shall be reviewed and approved by the Zoning Administrator.

## 5-50.84 Lighting

- a) Street lights shall be installed along both sides of all streets. The Lumec Candela CAND1-CN1 with 100-watt metal halide bulbs, or equivalent model approved by the Zoning Administrator, shall be used within the Town Activity Center District.
- b) In order to minimize light pollution, light should be directed downward to the immediate area being illuminated and away from any living quarters.
- c) Street lights shall be dark sky compatible. Lighting shall be designed and installed to be fully shielded (i.e. full cutoff) and shall have a maximum lamp wattage of 250 watts high-intensity discharge (HID) or lumen equivalent. In residential areas, light should be shielded such that the lamp itself or the lamp image is not directly visible outside the perimeter of the property.
- d) Street lights shall be installed at least 12 feet and not more than 14 feet in height above grade with a maximum average spacing along each side of the street as provided below:
  - 1) Routes 15 and 20: 150 feet on center.
  - 2) All other streets: 125 feet on center.
- e) Floodlights or directional lights with maximum 100-watt metal halide bulbs may be used to illuminate alleys, parking garages and maintenance areas, but shall be shielded or aimed in such a way that they do not direct light onto other lots, the street, or out of the Town Activity Center District.
- f) Lights shall not be placed on the ground such that a beam of light is directed upward to illuminate the building wall(s). This provision shall not apply to floodlighting used to illuminate flags.



**Lumec Candela CAND1-CN1**

- g) Site lighting shall be located and shall be of a design and height so as to illuminate only the interior of the property.
- h) No flashing, traveling, animated, or intermittent lighting shall be visible from the exterior of any building whether such lighting is of temporary or long-term duration. This provision shall not apply to seasonal (i.e. holiday) lighting and/or displays.

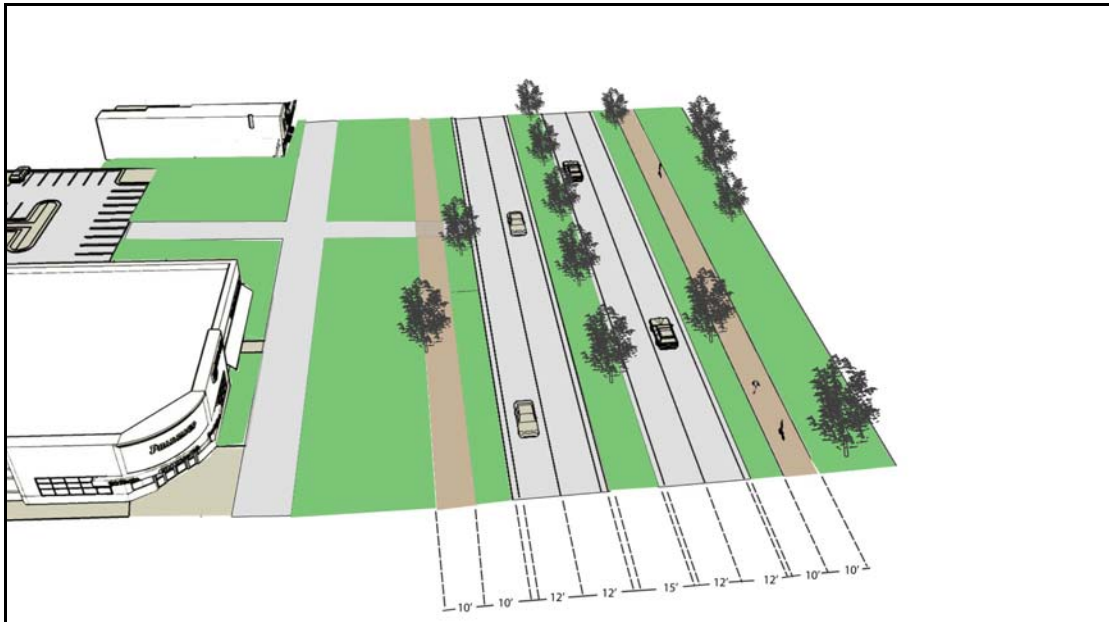
## **5-50.85 Utility Requirements**

- a) All lots that contain a dwelling or other permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a dwelling or other permitted building shall be served exclusively by a public sewer system, provided the lot is situated such that public sewer service is available to the lot or parcel, or any existing or proposed building thereon, in accordance with the requirements for mandatory connection to public sanitary sewer prescribed in the Code of the Town of Orange. Lots which are not served by the public sewer system shall be subject to approval by the Orange County Health Official.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.

## 5-60 Rural Commercial (RC) District

### 5-60.10 Intent

The Rural Commercial District (RC) is established to provide for a mixture of commercial uses, including retail, service, office, and light industrial uses. These areas will have a mixed automobile and pedestrian orientation with buildings oriented to the street and parking located in rear or to the sides of buildings where possible, with landscaped buffers and multi-use trails along streets. The scale and design character of buildings and developed sites within the district will serve as harmonious gateways to the Town.



### 5-60.20 Permitted Uses

The uses permitted by-right, permitted with a special use permit, and prohibited within the Rural Commercial District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

### 5-60.30 Lot Requirements

- a) Lot Area: Minimum 3,000 square feet.
- b) Lot Width: Minimum 40 feet.
- c) Lot Coverage: Maximum 70%.
- d) Lot Access: All lots which contain a permitted main building shall front on or have access to a public street. Driveway connections shall be provided to all contiguous lots.

### 5-60.40 Building Requirements

- a) Front Setback: Minimum 35 feet.
- b) Side Setback: No minimum.
- c) Rear Setback: Minimum 20 feet.
- d) Height: Maximum three (3) stories or 55 feet.
- e) Accessory Structures:

- 1) Setbacks: Minimum front yard setback shall be 35 feet; no minimum side or rear setback shall be required.
- 2) Height: The height of an accessory structure shall not exceed the height of the principal building or structure.

## 5-60.50 Parking Requirements

Not more than one row of single- or double-stacked parked spaces shall be permitted between the building façade and any public street.

## 5-60.60 Civic Space Standards

- a) Streetlights: Street lights shall be installed along both sides of all streets. Streetlights shall be installed at regular intervals of not greater than 150 feet on center measured parallel to the centerline of the street. The Lumec Domus or equivalent model approved by the Zoning Administrator shall be used within the Rural Commercial District.
- b) Street Trees: Street trees shall be installed along both sides of all streets within the Traditional Industrial District. Street trees shall be spaced at regular intervals of not less than 50 and not greater than 75 feet on center as measured parallel to the centerline of the street.
- c) Sidewalks and Pedestrian Facilities: A sidewalk not less than 5 feet in width shall be constructed along one side of any public street, provided, however, that a multi-use path not less than 8 feet in width shall be constructed along one side of U.S. Route 15 in accordance with the recommendations of the Comprehensive Plan.
- d) The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's property lies.

## 5-60.70 Utility Requirements

- a) All lots that contain a permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a permitted building shall be served exclusively by a public sewer system, provided the lot is situated such that public sewer service is available to the lot or parcel, or any existing or proposed building thereon, in accordance with the requirements for mandatory connection to public sanitary sewer prescribed in the Code of the Town of Orange. Lots which are not served by the public sewer system shall be subject to approval by the Orange County Health Official.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.

## 5-70 Traditional Industrial (TI) District

### 5-70.10 Intent

The Traditional Industrial District (TI) is established to provide a mix of employment uses, including light industrial, small-scale retail and office uses, with very limited residential uses. Industrial areas will have a pedestrian orientation with wide sidewalks and building fronts located close to the street edge, and parking and garages in the rear or to the sides of lots. The scale and design character of these areas will be compatible with the existing Town fabric but allow for contemporary market needs.



### 5-70.20 Permitted Uses

The uses permitted by-right, permitted with a special use permit, and prohibited within the Traditional Industrial District shall be in accordance with Section 5-05.10: Table of Permitted Uses.

### 5-70.30 Lot Requirements

- a) Lot Area: Minimum 3,000 square feet, as now required in industrial district.
- b) Lot Width: Minimum 40 feet.
- c) Lot Coverage: Maximum 70%.
- d) Lot Access: All lots which contain a permitted main building shall abut on a public street.

### 5-70.40 Building Requirements

- a) Front Setback: Minimum 10 feet
- b) Side Setback: Minimum 10 feet; Minimum 40 feet if abutting residentially-zoned property.
- c) Rear Setback: Minimum 10 feet; Minimum 40 feet if abutting residentially-zoned property.
- d) Height: Maximum 70 feet, provided any building or structure exceeding the maximum height shall require a Special Use Permit.
- e) Accessory Structures:
  - 1) Setbacks: Minimum front yard setback shall be 10 feet; no minimum side or rear setback shall be required.

- 2) Height: The height of an accessory structure shall not exceed the height of the principal building or structure.

## 5-70.50 Parking Requirements

Employee and visitor parking areas shall be placed to the side or rear of the principal building where practicable.

## 5-70.60 Civic Space Standards

- a) Streetlights: Streetlights shall be installed along both sides of all streets. Streetlights shall be installed at regular intervals of not greater than 150 feet on center measured parallel to the centerline of the street. The Lumec Domus or equivalent model approved by the Zoning Administrator shall be used within the Traditional Industrial District.
- b) Street Trees: Street trees shall be installed along both sides of all streets within the Traditional Industrial District. Street trees shall be spaced at regular intervals of not less than 50 and not greater than 75 feet as measured parallel to the centerline of the street.
- c) Sidewalks: Sidewalks not less than 5 feet in width shall be required along both sides of all streets. As an alternative, a multi-use path not less than 8 feet in width may be constructed along the street on one side of street only.
- d) Alleys: The right-of-way of any alley must be not less than 16 feet but not more than 24 feet in width.
- e) Exempted: The requirements of this subsection shall apply to a subdivision and/or development subject to the requirement for a site development plan in accordance with Section 12-20, provided that the construction of a single-family dwelling or duplex dwelling, or structure or parking area accessory thereto, on a lot recorded prior to the adoption of this Chapter shall be considered exempt from the requirements of this subsection. The owner-applicant shall be responsible for constructing required streetscape improvements only on the side(s) of the street on which the owner-applicant's property lies.

## 5-70.70 Utility Requirements

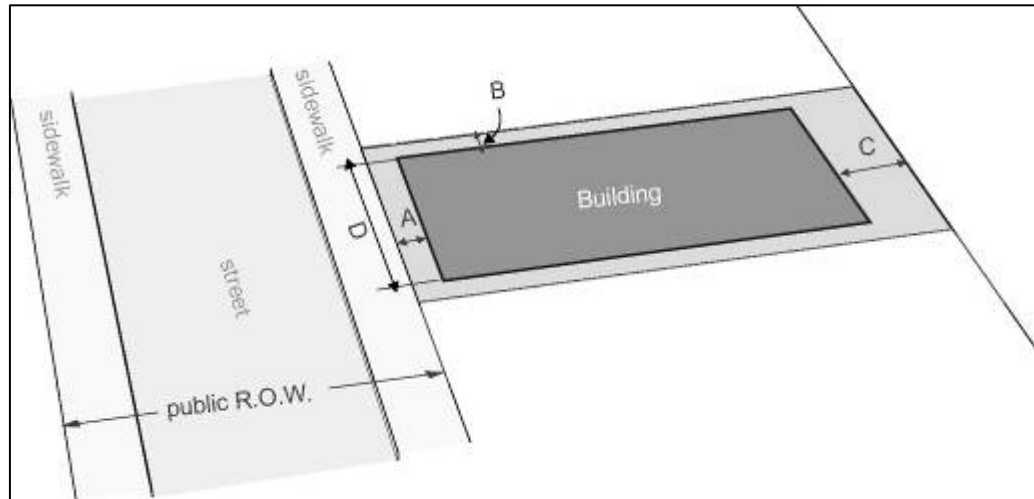
- a) All lots that contain a permitted building, and all such buildings thereon, shall be served exclusively by a public water system.
- b) All lots that contain a permitted building, and all such buildings thereon, shall be served exclusively by a public sewer system.
- c) All utilities that serve a structure shall be underground. Temporary construction shall be exempted from this requirement.

## 5-80 Summary Table and Illustrations

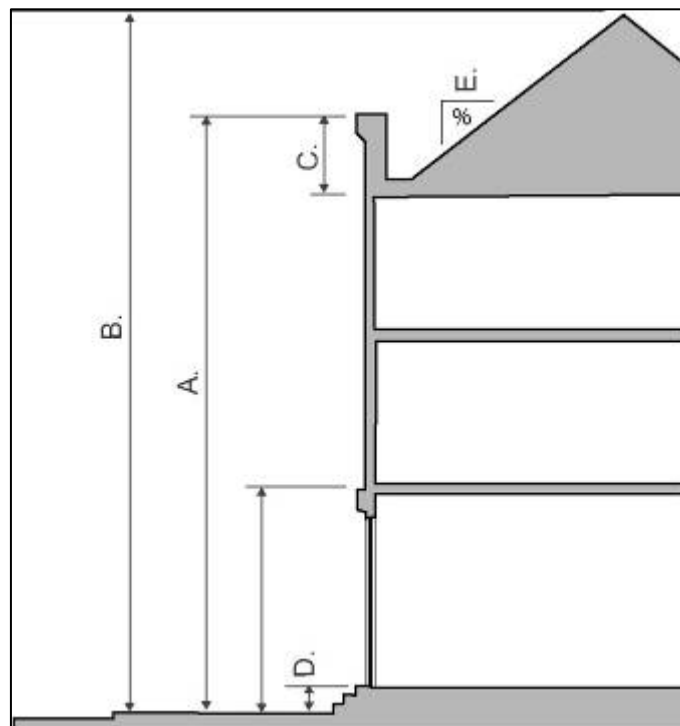
### 5-80.10 Intent

The following Illustrations of District Standards and Summary Table of District Standards are intended to summarize, rather than supersede or conflict with, the standards listed above in sections 5-10 to 5-70 for the Traditional Character Zoning Districts.

**Illustrations of District Standards (Not Regulatory; For Illustrative Purposes Only):**

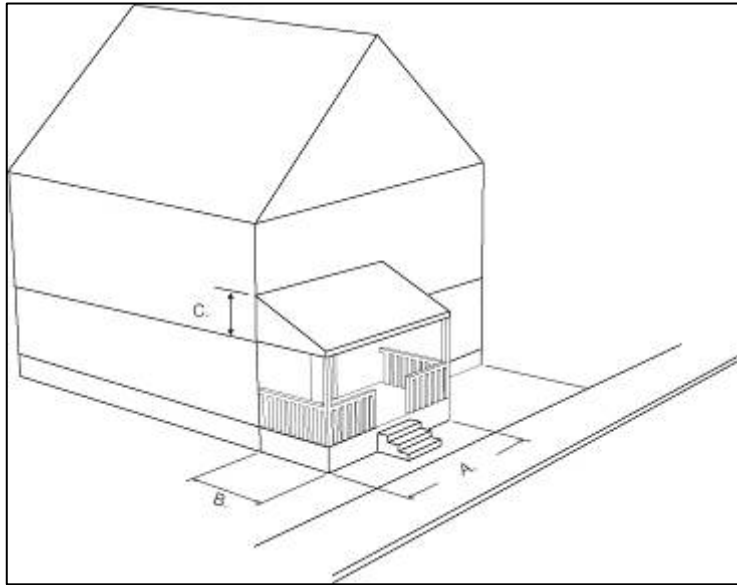


**Figure 1. Setback Standards**

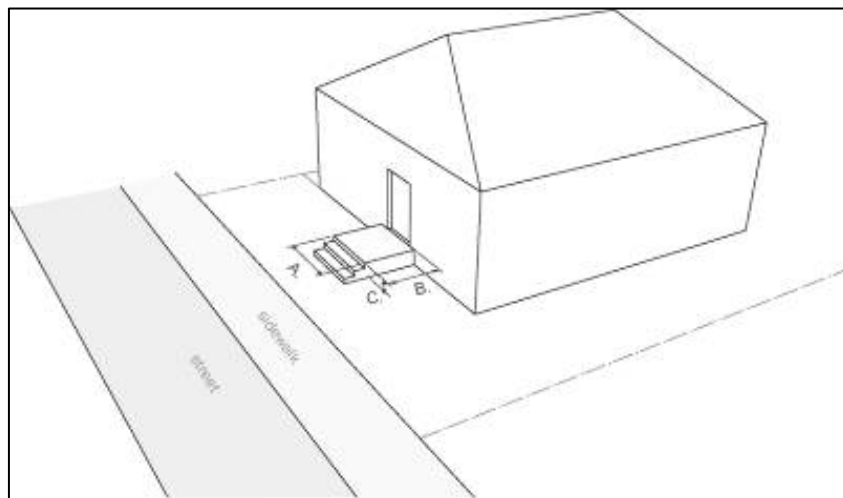


**Figure 2. Height Standards**

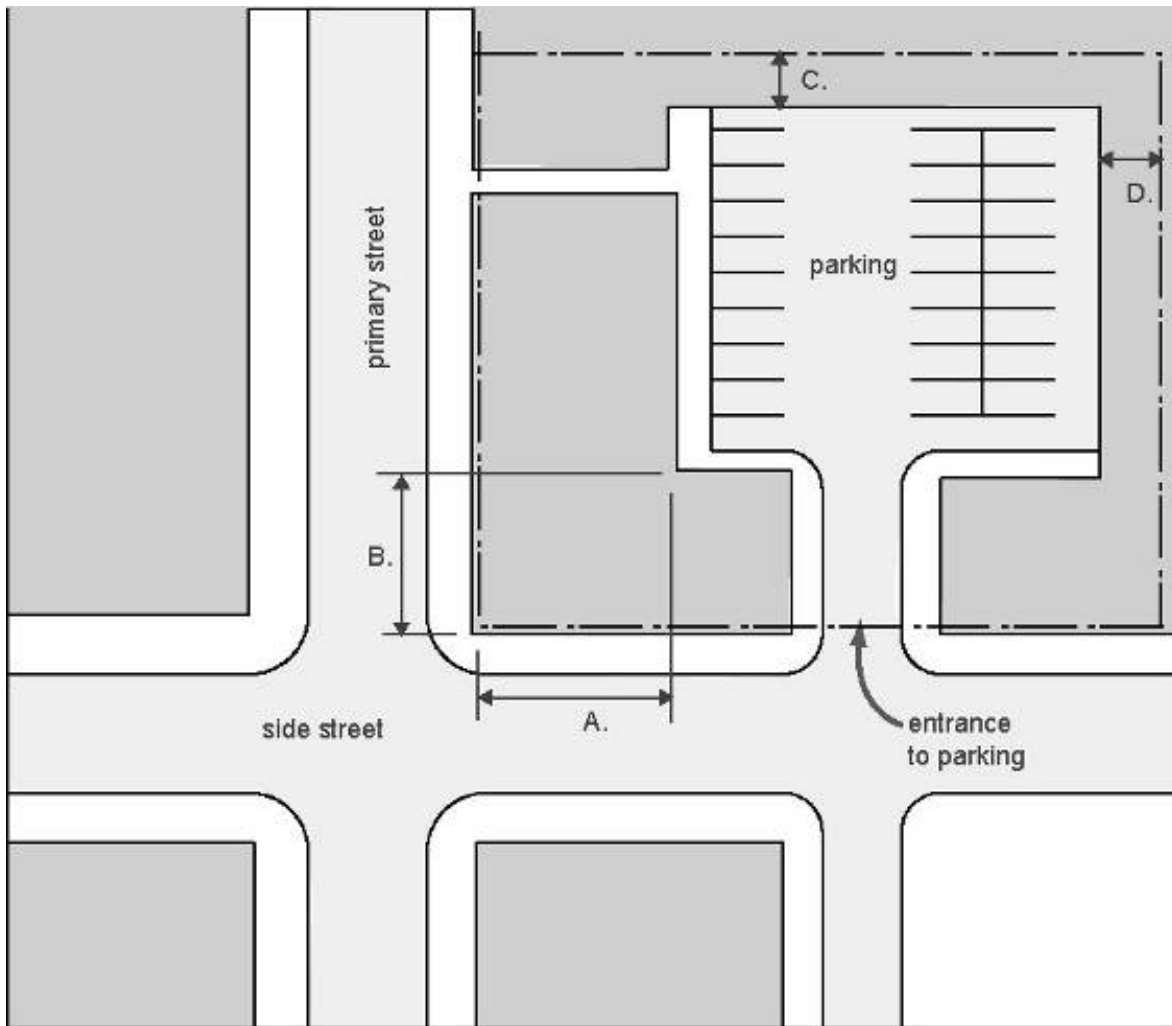




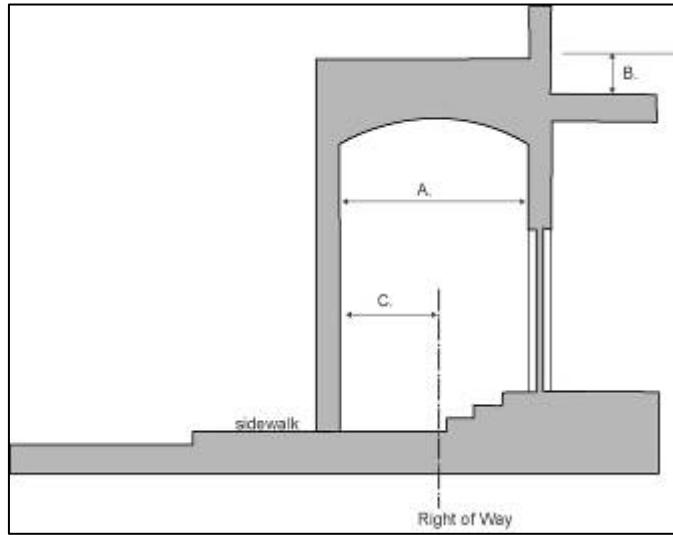
**Figure 3.Porches**



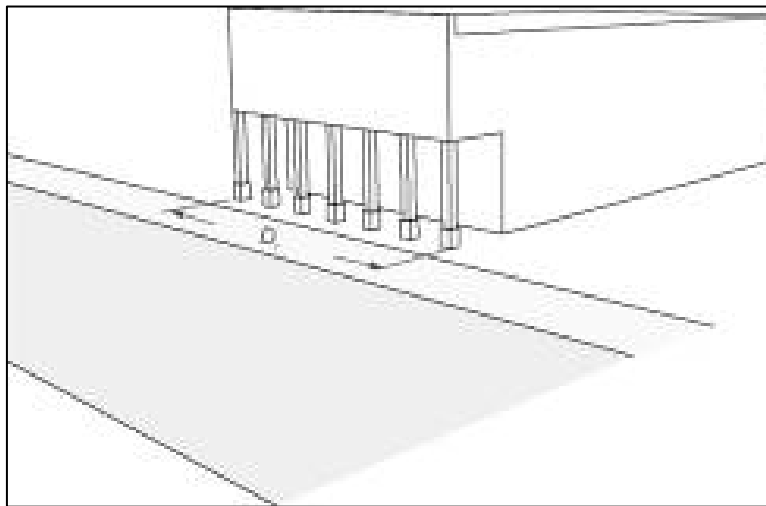
**Figure 4. Stoops**



**Figure 5. Parking Location**



**Figure 5. Awnings**



**Figure 6. Arcades**

**Summary Table of District Standards:**

Districts	Intent and Uses-Highlights	Lot Requirements-Highlights			
		Area	Width	Coverage/Density	Block
<b>Rural Residential</b>	<b>Intent:</b> Low density residential; minimal change from existing Rural Residential (RL) District. <b>Uses:</b> By-right: Generally same as RL District By SUP: Generally same as RL District	Minimum 30,000 s.f.	Minimum 100 feet	N/A	No maximum.
<b>Trad. Res - Low</b>	<b>Intent:</b> Low to moderate density residential; pedestrian-oriented; similar to traditional single family neighborhoods in Town; minimal change from existing Residential General (RG) District. <b>Uses:</b> By-right: Generally same as RG District By SUP: Generally same as RG District	Minimum 6,500 s.f.	Minimum 60 feet	Max. 30%	Maximum perimeter 2,500 ft.
<b>Trad. Res - High</b>	<b>Intent:</b> Medium to high density residential, variety of housing types. Alternative to existing RHD district. Pedestrian-oriented, compatible with traditional neighborhoods. <b>Uses:</b> By-right: SFD, duplex, townhouse, multi-family, etc. By SUP: Live-work, boarding houses, home occupations, child care centers, etc.	SFD: 6,000 s.f. SFA: 2,000 s.f. MFD: 10,000 s.f. (all minimums)	SFD: 50.ft. SFA: 20 ft. MFD: 80 ft. (all minimums)	Max du/acre: SFD: 8 SFA: 10 MFD: 30	Block length: 250-660 ft.
<b>Trad. Town Center</b>	<b>Intent:</b> Compact, mixed-uses, pedestrian-oriented, compatible in scale with historic downtown. <b>Uses:</b> By-right: Generally same as DD District By SUP: Drive-in, drive-through, ground floor residential, >40,000 s.f. structure, etc.	T4: 5,000 s.f. T4.5: 3,000 s.f. T5: 3,000 s.f.	Minimum 30 feet	N/A	Block length: 250-450 ft.
<b>Town Act. Center</b>	<b>Intent:</b> Mix of uses, pedestrian oriented, scale compatible with existing town fabric but allow for contemporary market needs including larger foot print buildings. <b>Uses:</b> Generally same as Downtown District + General Commercial By-right: Live-work and mixed use commercial buildings By SUP: Drive-in, ground floor residential, hospitals, light manufacturing, warehouse, >60,000 s.f. structure, etc.	Min. 3,000 s.f.	Min. 40 ft.	N/A	Block length: 250-660 ft.

Districts	Intent and Uses	Lot Requirements			
		Area	Width	Coverage/Density	Block
<b>Rural Commercial</b>	<p><b>Intent:</b> Mix of uses, including retail, office and light industrial. Mixed auto and pedestrian orientation with buildings oriented to street and parking at rear or sides, with landscaped buffers and multi-use trails along streets. Harmonious character at gateways to Town.</p> <p><b>Uses:</b> By-right: Generally same as existing general commercial district By SUP: Ground floor residential, foundries, hospitals, drive-in, &gt;80,000 s.f. structure, etc.</p>	Min. 3,000 s.f	Min. 40 ft.	Max. 70%.	N/A
<b>Trad. Industrial</b>	<p><b>Intent:</b> Mix of employment uses, including light industrial, small-scale retail and office, with very limited residential. Pedestrian orientation with parking at rear or sides; scale and character compatible with existing Town fabric.</p> <p><b>Uses:</b> By-right: Broad range of employment uses; generally allow by-right allowed in existing Industrial District By SUP: Asphalt plant, concrete plant, ground-floor residential, live-work, truck terminals, bulk fuel and storage, etc.</p>	Min. 3,000 s.f	Min. 40 ft.	Max. 70%.	N/A

Districts	Building Requirement Highlights								
	Front	Side	Rear	Accessory Structure	Alley	Porch	Frontage	Height	Fenestration.
<b>Rural Residential</b>	Min. 60 ft or same as avg. on same side of street on same block	Minimum 15 ft.	Minimum 25 ft.	Max. area: 1,500 s.f. or 50% area of principal dwelling, whichever is less	N/A	N/A	N/A	Max 35 ft. to eave Max 45 ft. to top gable peak	N/A
<b>Trad. Res - Low</b>	Min. 12 ft. Max. 30 ft.	Min. 5 ft. Max. combined: 35 ft.	Min. 15 ft. w/o alley Min. 20 ft. w/ alley.	Accessory structure setback so at least 50% of principal structure is closer to front lot line. Max. area: 1,000 s.f. or 50% area of principal dwelling, whichever is less	Min 10 ft. r-o-w; Max 20 ft. r-o-w	Front porch reqd.	N/A	Max 25 ft. to eave Max 35 ft. to top gable peak	N/A
<b>Trad. Res - High</b>	Min. 12 ft. Max. 20 ft.	Min. 5 ft. Max. combined: 35 ft.	Min. 15 ft.	Min. 5 ft. setback Max. area: 1,000 s.f. or 50% area of principal dwelling, whichever is less	Min 10 ft. r-o-w; Max 20 ft. r-o-w	Not reqd.	N/A	2-4 stories Max 65 ft.	15%-30%
<b>Trad. Town Center</b>	<b>T-4:</b> 12 ft.-20 ft. <b>T-4.5:</b> 3 ft.-20 ft. <b>T-5:</b> 0 ft.-20 ft.	<b>T-4:</b> Min. 3 ft. (12 ft. combined) Max. 30 ft. combined <b>T-4.5:</b> 3 ft.-15 ft. <b>T-5:</b> 0 ft. or 3 ft.	<b>T-4:</b> Min. 20 ft. <b>T-4.5:</b> Min. 12 ft. w/ alley; Min. 20 ft. w/o alley <b>T-5:</b> Min. 3 ft. w/ alley; Min. 20 ft. w/o alley	<b>T-4:</b> Place behind principal structure; Min. 3 ft. side and rear setback <b>T-4.5:</b> Min. 10 ft. front; Min. 3 ft. side and rear setback <b>T-5:</b> N/A	<b>T-4 &amp; T4.5:</b> Min. 10 ft. r-o-w; Max. 20 ft. r-o-w <b>T-5:</b> N/A	Not reqd.	<b>T-4:</b> N/A <b>T-4.5:</b> 50% <b>T-5:</b> 75%	<b>T-4:</b> 2-3 stories; Max. 45 ft. <b>T-4.5:</b> 1-3 stories; Max. 55 ft. <b>T-5:</b> 2-4 stories; Max. 65 ft.	<b>T-4:</b> 15%-30% <b>T-4.5 &amp; T-5:</b> 1st floor min. 50%; Additional floors 15%-30%
<b>Town Act. Center</b>	Minimum: 10 ft. for facades up to 35 ft. high. 20 ft. for facades > 35 ft.	10 ft. min. for corner lots. 5 ft. min. for interior lots	Min. 20 ft. Min. 40 ft. for lots adjoining a residential district	N/A	N/A	N/A	N/A	Max. 3 stories or 55 ft.	First floor min. 40% for retail uses; 20% for non-retail uses. Additional floors 15%-40%
<b>Rural Commercial</b>	Min. 35 ft.	None	Min. 20 ft.	Min. 35 ft. front setback	N/A	N/A	N/A	Max. 3 stories or 55 ft.	N/A

Districts	Building Requirement Highlights								
	Front	Side	Rear	Accessory Structure	Alley	Porch	Frontage	Height	Fenestration.
<b>Trad. Industrial</b>	Min. 10 ft.	Min. 10 ft. or 40 ft. if adjoining a residential district	Min. 10 ft. or 40 ft. if adjoining a residential district	N/A	Min 16 ft r-o-w; Max 24 ft. r-o-w	N/A	N/A	Max. 70 ft.	N/A