

THESE PLANS WERE NOT DRAWN BY A LICENSED ARCHITECT OR ENGINEER
M. MORELAND CONSTRUCTION TAKES NO RESPONSIBILITY IN THE STRUCTURAL DETAILING
OF THESE PLANS. CONSULT AN ARCHITECT OR ENGINEER FOR THE STRUCTURAL DETAILS
ALL WORK SHALL COMPLY TO ALL LOCAL & STATE BUILDING CODES

TRANZON AUCTION PROPERTIES' NOTE: The following floor plans are being provided for informational purposes only and may have had some minor adjustments during the construction process that are not depicted on the plans. This information was derived from sources believed correct, but is not guaranteed. Interested parties shall rely entirely on their own information and judgment. Property is being sold on an "AS IS, WHERE IS" basis.



① FRONT ELEVATION
SCALE 1/4"=1'-0"

M. MORELAND CONSTRUCTION
ARCHITECTURAL DESIGNER

401 MAIN ST.
S. BERNARD, ME
03908
PH 207-584-1132

NOTES:

LOCATION

DRAWN BY

SIGNATURE DATE

DRAWING LIST

A-1	GROUND FLOOR PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	FRONT ELEVATION
A-5	BACK ELEVATION
A-6	SIDE ELEVATIONS
A-7	SECTION
A-8	FIRST FLOOR FRAMING
A-9	SECOND FLOOR FRAMING
A-10	ROOF FRAMING

OWNER

SIX UNIT CONDO

PROJECT:

PROJECT NUMBER: 0904

ISSUE	DATE
EXISTING	
DESIGN	9-29-08
REV. DESIGN	11-10-08
REV. ELEV.	
PERMIT	
CONSTRUCTION	

SCALE
1/4"=1'-0"

0 5 10

STAMP

FRONT ELEVATION

A-4

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M. MORELAND CONSTRUCTION
ARCHITECTURAL DESIGNER

401 MAIN ST.
S. BERNARD ME
03508 PH 207-884-8132

NOTES:

LOCATION

DRAWN BY

SIGNATURE DATE

DRAWING LIST

A-1 GROUND FLOOR PLAN
A-2 FIRST FLOOR PLAN
A-3 SECOND FLOOR PLAN
A-4 FRONT ELEVATION
A-5 BACK ELEVATION
A-6 SIDE ELEVATIONS
A-7 SECTION
A-8 FIRST FLOOR FRAMING
A-9 SECOND FLOOR FRAMING
A-10 ROOF FRAMING

DURER

SIX UNIT CONDO

PROJECT:

PROJECT NUMBER: 0804

ISSUE	DATE
EXISTING	
DESIGN	9-29-08
REV. DESIGN	11-10-08
REV. ELEV.	
PERMIT	
CONSTRUCTION	

SCALE 1/4"=1'-0"

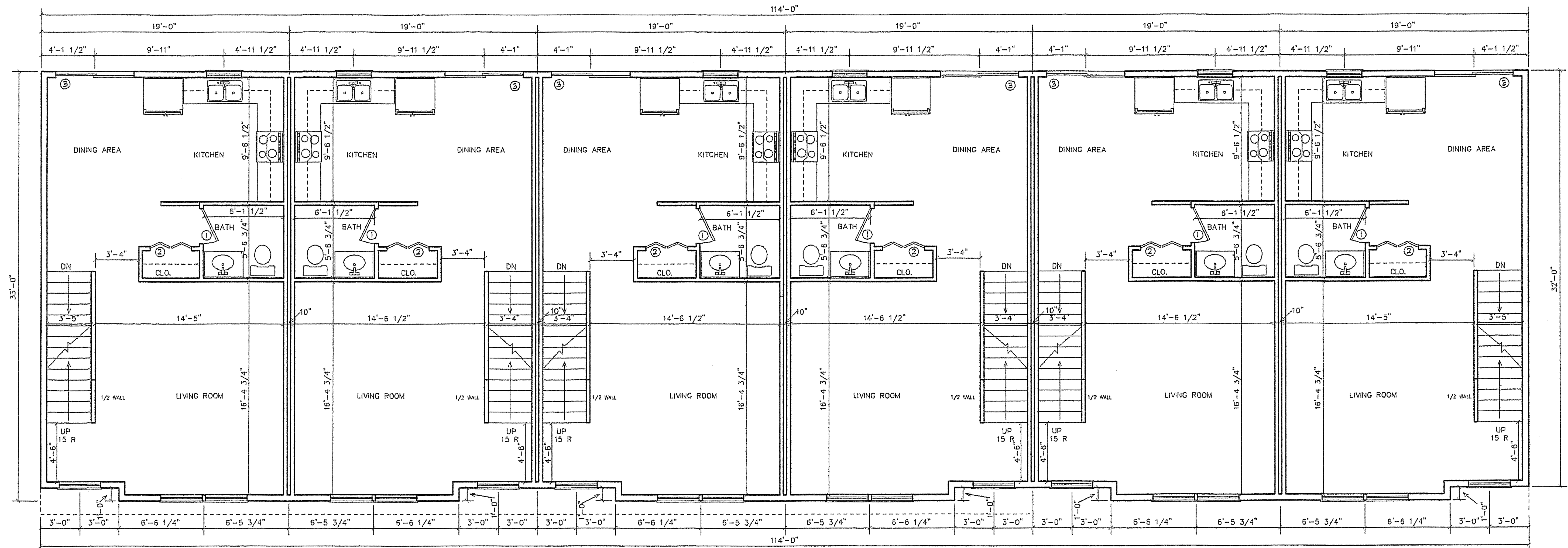
STAMP

FIRST FLOOR PLAN

A-2

DOOR SCHEDULE

1	2'-6" x 4'-8"		
2	3'-0" x 4'-8"		
3	4'-0" x 4'-8"		

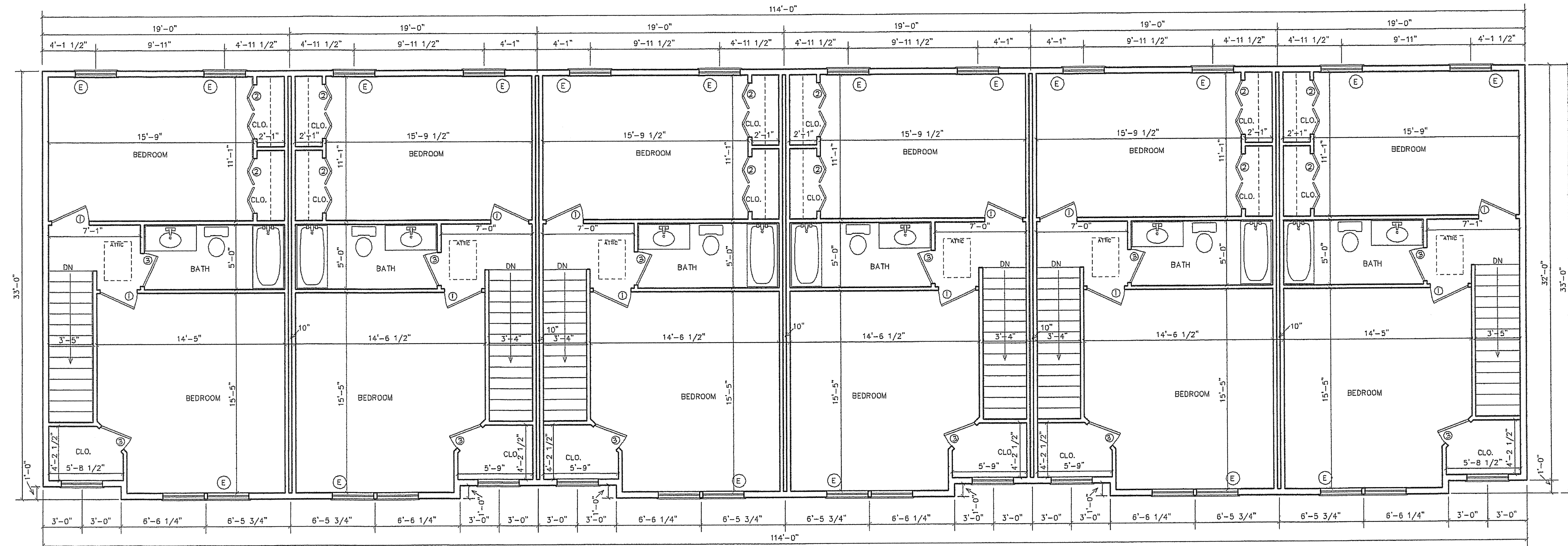


① FIRST FLOOR PLAN
SCALE 1/4"=1'-0"

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(E) WINDOWS WILL MEET OR EXCEED A CLEAR OPENABLE AREA OF 5.7 SQ. FT.,
& A CLEAR OPENABLE WIDTH OF 20" & A CLEAR OPENABLE HEIGHT OF 24"

DOOR SCHEDULE		
1	2'-8" x 6'-8"	
2	4'-0" x 6'-8"	
3	2'-4" x 6'-8"	



① SECOND FLOOR PLAN
SCALE 1/4"=1'-0"

M. MORELAND CONSTRUCTION
ARCHITECTURAL DESIGNER

401 MAIN ST.
S. BERNICK ME
03503

PH 207-961-8132

NOTES:

LOCATION

DRAWN BY

SIGNATURE

DATE

DRAWING LIST

A-1	GROUND FLOOR PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	FRONT ELEVATION
A-5	BACK ELEVATION
A-6	SIDE ELEVATIONS
A-7	SECTION
A-8	FIRST FLOOR FRAMING
A-9	SECOND FLOOR FRAMING
A-10	ROOF FRAMING

OWNER

SIX UNIT CONDO

PROJECT

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CONSTRUCTION	

SCALE

1/4"=1'-0"

STAMP

SECOND FLOOR
PLAN

A-3

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1 FRONT ELEVATION
SCALE 1/4"=1'-0"

M. MORELAND CONSTRUCTION

ARCHITECTURAL DESIGNER

401 MAIN ST.
S. BETHUNE, ME

03908 PH 207-254-8112

NOTES:

LOCATION

DRAWN BY

SIGNATURE

DATE

DRAWING LIST

A-1	GROUND FLOOR PLAN
A-2	FIRST FLOOR PLAN
A-3	SECOND FLOOR PLAN
A-4	FRONT ELEVATION
A-5	BACK ELEVATION
A-6	SIDE ELEVATIONS
A-7	SECTION
A-8	FIRST FLOOR FRAMING
A-9	SECOND FLOOR FRAMING
A-10	ROOF FRAMING

OTHER

FOUR UNIT CONDO

PROJECT

PROJECT NUMBER: 0804

ISSUE	DATE
EXISTING	
DESIGN	9-29-08
REV. DESIGN	11-10-08
REV. ELEV.	
PERMIT	
CONSTRUCTION	

SCALE 1/4"=1'-0"

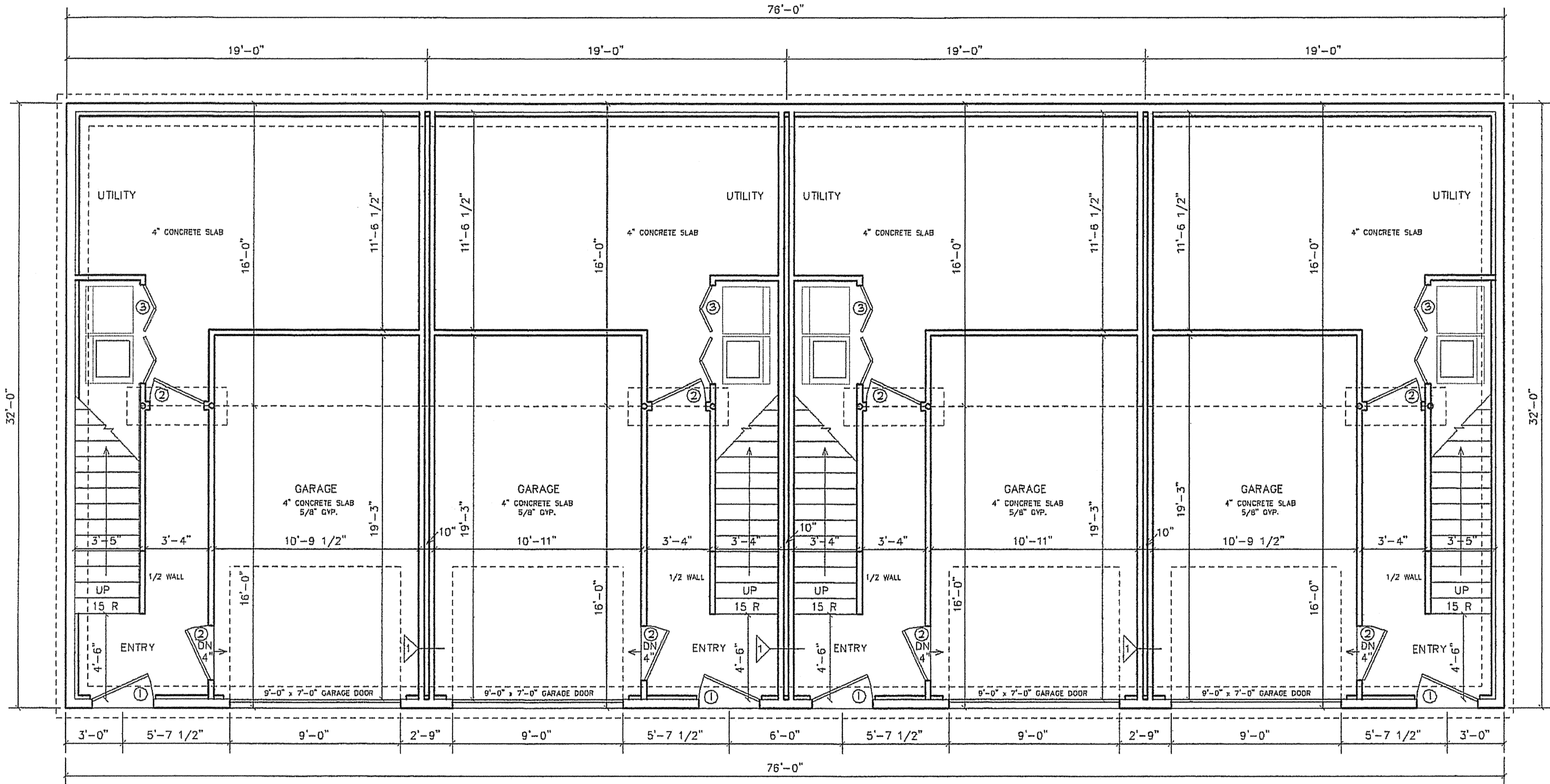
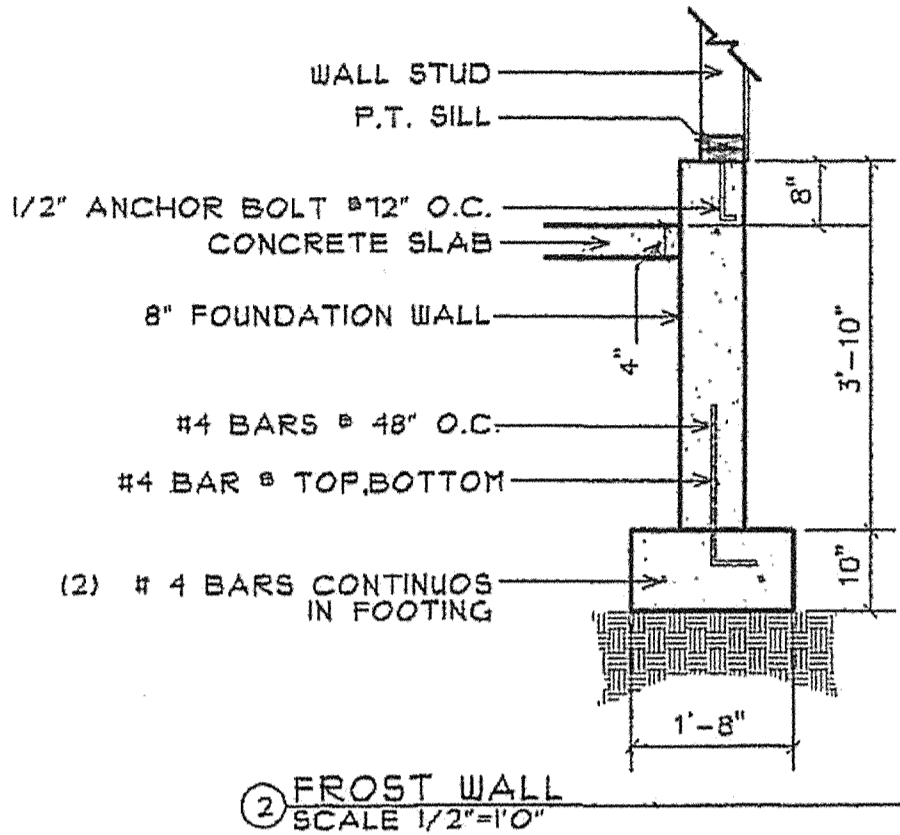
STAMP

FRONT ELEVATION

A-4

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DOOR SCHEDULE			
1	3'-0" x 6'-8"		
2	2'-8" x 6'-8"		
3	5'-0" x 6'-8"		



① GROUND FLOOR / FOUNDATION PLAN
SCALE 1/4"=1'-0"

NOTES
1/2" ANCHOR BOLTS 1'-0" FROM CORNERS
1'-0" O.C.
CONCRETE MIN STRENGTH NO LESS
THAN 3000 PSI
VERIFY AND ADJUST FOUNDATION DROPS,
BULKHEAD, AND BASEMENT WINDOW
LOCATIONS PER SITE CONDITIONS

M. MORELAND CONSTRUCTION
ARCHITECTURAL DESIGNER
401 MAIN ST.
S. BERRICK ME
03908
PH 207-255-8170

NOTES:

LOCATION

DRAWN BY

SIGNATURE DATE

DRAWING LIST

A-1 GROUND FLOOR PLAN
A-2 FIRST FLOOR PLAN
A-3 SECOND FLOOR PLAN
A-4 FRONT ELEVATION
A-5 BACK ELEVATION
A-6 SIDE ELEVATIONS
A-7 SECTION
A-8 FIRST FLOOR FRAMING
A-9 SECOND FLOOR FRAMING
A-10 ROOF FRAMING

OWNER

FOUR UNIT CONDO

PROJECT:

PROJECT NUMBER: 0604

ISSUE DATE
EXISTING
DESIGN 9-29-08
REV. DESIGN 11-10-08
REV. ELEV.
PERMIT
CONSTRUCTION

SCALE 1/4"=1'-0"

STAMP

GROUND FLOOR
FOUNDATION PLAN

A-1

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& A CLEAR OPENABLE WIDTH OF 20" & A CLEAR OPENABLE HEIGHT OF 24"

DOOR SCHEDULE		
1	2'-8" x 6'-8"	
2	4'-0" x 6'-8"	
3	2'-4" x 6'-8"	

M. MORELAND CONSTRUCTION
ARCHITECTURAL DESIGNER

401 MAIN ST.
S. BERNICK ME
03509
DN 207-596-1132

NOTES:

LOCATION

DRAWN BY

SIGNATURE DATE

DRAWING LIST

A-1 GROUND FLOOR PLAN
A-2 FIRST FLOOR PLAN
A-3 SECOND FLOOR PLAN
A-4 FRONT ELEVATION
A-5 BACK ELEVATION
A-6 SIDE ELEVATIONS
A-7 SECTION
A-8 FIRST FLOOR FRAMING
A-9 SECOND FLOOR FRAMING
A-10 ROOF FRAMING

OWNER

FOUR UNIT CONDO

PROJECT:

PROJECT NUMBER: 0804

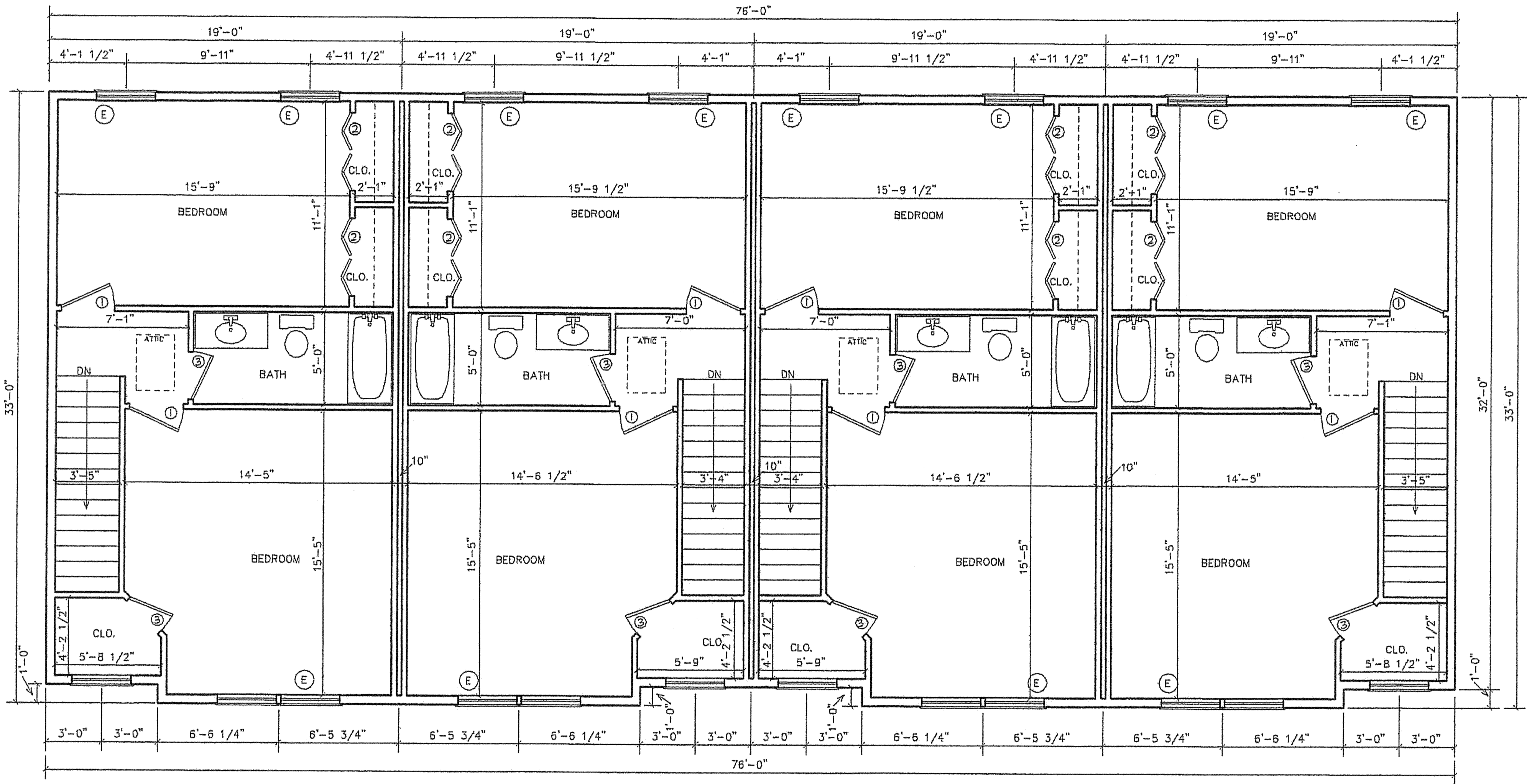
ISSUE	DATE
EXISTING	
DESIGN	9-29-08
REV. DESIGN	11-10-08
REV. ELEV.	
PERMIT	
CONSTRUCTION	

SCALE
1/4"=1'-0"

STAMP

SECOND FLOOR
PLAN

A-3



① SECOND FLOOR PLAN
SCALE 1/4"=1'-0"